



**AGENDA**  
**City Council Meetings**  
**City Hall Council Chambers - Webster City, Iowa**  
**March 3, 2025**

This meeting will be open to the public and can be viewed live on the City Facebook page <https://www.facebook.com/cityofwebstercity/> or viewed on the City of Webster City website <https://webstercity.com/government/city-council/city-council-meetings/> the morning following the meeting.

5:00 p.m.

**Work Session**

**CALL TO ORDER**

**ROLL CALL**

**Presentation by Andy Hejlik on DUB (indoor sports complex)**

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6:00 p.m.

**REGULAR CITY COUNCIL MEETING**

**CALL TO ORDER**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**Motion on Approval of Agenda**

**1. PETITIONS – COMMUNICATIONS – REQUESTS**

This is the time of the meeting that a citizen may address the Council on a matter not on the Agenda. **(No more than five minutes per person)** Except in cases of emergency, the City Council will not take any action at this meeting, but may ask the City Staff to research the matter or have the matter placed on the Agenda for a future meeting.

- a. Public Information

## City Council Meeting Agenda March 3, 2025

### 2. CONSENT AGENDA

The following items have been deemed to be non-controversial, routine actions to be approved by the Council in a single motion. If a Council member, or a member of the audience wishes to have an item removed from this list, it will be considered in its normal sequence on the Agenda.

- a. [MINUTES](#) of February 17, 2025 Regular City Council Meeting
- b. [CLAIMS](#), including Payroll ending February 22, 2025 and [FUND LIST](#)
- c. Council Committee Reports
- d. Other reports and recommendations

### 3. GENERAL AGENDA

- a. Presentation by Ashley Shiwarski, Home Serve USA on Service Line Program (VIRTUAL)  
[POWER POINT](#)    [REPORT](#)    [PROPOSED AGREE](#)
- b. [AGENDA STATEMENT](#)    [RESOLUTION](#) Providing for Notice of Hearing on Proposed Plans and Specifications and Proposed Form of Contract and Estimate of Cost for the Construction of the Beach Street PCC Rehabilitation Project. (April 7 6:05 p.m.)    [NOTICE OF HEARING](#)    [DOT INFO](#)    [MAPS](#)
- c. [AGENDA STATEMENT](#)    [RESOLUTION](#) authorizing the City Manager to Sign and Execute Amendment No. 36 with Snyder and Associates to Provide Professional Services needed for the Summer 2025 HMA Street Improvement Project.    [AMD 36](#)
- d. [AGENDA STATEMENT](#)    [RESOLUTION](#) authorizing the City Manager to Sign and Execute Amendment No. 37 with Snyder and Associates to Provide Professional Services needed for Routine Bridge Inspections and Associated Reports.    [AMD 37](#)
- e. [AGENDA STATEMENT](#)    [RESOLUTION](#) authorizing the City Manager to Execute the Needed Repairs of Well #6 as defined in Exhibit "A" for the Water Treatment Plant.    [QUOTE](#)
- f. [AGENDA STATEMENT](#)    [RESOLUTION](#) authorizing the City Manager to Sign and Execute a Purchase Agreement with Sundancer Investments for the Purchase of Property located at 208 Division, Webster City, Iowa, in the amount of \$5,000.00.    [PURCHASE AGREE](#)
- g. [AGENDA STATEMENT](#)    Motion setting Public Hearing for the Property Tax Levy (April 7 6:05 p.m.)  
[NOTICE 2025](#)    [NOTICE 2026](#)    [COMPARISON](#)

### 4. OTHER ITEMS SENT TO COUNCIL

- a. City Attorney [REPORT/UPDATE](#) February 26, 2025.

### 5. ADJOURN

NOTE: The Council may act by motion, resolution or ordinance on items listed on the Agenda.

**CITY COUNCIL MEETING MINUTES**  
**Webster City, Iowa February 17, - 6:00 p.m.**

The City Council met in regular session at the City Hall, Webster City, Iowa at 6:00 p.m. on February 17, 2025 upon call of the Mayor and the advance agenda. The meeting was called to order by Mayor John Hawkins and roll being called there were present in Council Chambers the following Council Members: Abbie Hansen, Megan McFarland, Matt McKinney and Logan Welch.

*This meeting was open to the public and can be viewed live on the City Facebook page <https://www.facebook.com/cityofwebstercity/> or viewed on the City of Webster City website <https://webstercity.com/government/city-council/city-council-meetings/> the following morning.*

Mayor John Hawkins led the Pledge of Allegiance.

It was moved by McKinney and seconded by Hansen to approve the agenda.

ROLL CALL: Hansen, Hawkins, McFarland, McKinney and Welch voting aye.

**PETITIONS- COMMUNICATIONS- REQUESTS**

None brought forth

**PUBLIC INFORMATION**

None brought forth

**CONSENT AGENDA**

It was moved by Hansen and seconded by McFarland that the following consent items including minutes, claims, reports, and licenses, (a-f) be approved collectively:

- a. Minutes of February 3, 2025 Regular City Council meeting.
- b. Claims, including Payroll ending February 8, 2025 and Fund List.
- c. Reports Wastewater, Electric, Water for January 2025 be accepted and placed on file.
- d. Police Department Activity Report for January 2025 be accepted and placed on file.
- e. Fire Department Report for January 2025 be accepted and placed on file.
- f. That the issuance of Beer & Liquor Licenses by the Iowa Department of Commerce be recommended for the following:

Approve ownership amendment for Hy-Vee, 823 2<sup>nd</sup> St.

Approve ownership amendment for Hy-Vee Fast and Fresh Express, 819 2<sup>nd</sup> St.

- g. Council Committee Reports
- h. Other reports and recommendations

ROLL CALL: Hawkins, McFarland, McKinney, Welch and Hansen voting aye.

## **GENERAL AGENDA**

a. Anna Woodward, Chamber Director and Jamie Griffith, Chamber President gave a presentation on the Chamber of Commerce 2024 Annual Report.

### **PUBLIC HEARING 6:05 p.m.**

b. February 17, 2025 at 6:05 p.m. in Council Chambers at City Hall, 400 Second Steet, Webster City Iowa being the time and place for a Public Hearing on a proposed development agreement with Wilson Estates LLC, the same was held. No written objections were filed and no oral objections were presented.

c. It was moved by McFarland and seconded by Welch that Resolution No. 2025-025 Approving Development Agreement with Wilson Estates LLC, Authorizing Annual Appropriation Tax Increment Payments and Pledging Certain Tax Increment Revenues to the Payment of the Agreement be passed and adopted.

ROLL CALL: McFarland, McKinney, Welch, Hansen and Hawkins voting aye.

d. It was moved by Hansen and seconded by McKinney that the Second Reading of an Ordinance Providing for the Division of Taxes Levied on Taxable Property in the 2025 Webster City Housing Urban Renewal Area, Pursuant to Section 403.19 of the Code of Iowa be approved.

ROLL CALL: McKinney, Welch, Hansen, Hawkins and McFarland voting aye.

It was moved by Welch and seconded by McFarland that the Third Reading of an Ordinance Providing for the Division of Taxes Levied on Taxable Property in the 2025 Webster City Housing Urban Renewal Area, Pursuant to Section 403.19 of the Code of Iowa be waived.

ROLL CALL: Welch, Hansen, Hawkins, McFarland and McKinney voting aye.

It was moved by McFarland and seconded by Hansen that Ordinance No. 2025-1877 an Ordinance Providing for the Division of Taxes Levied on Taxable Property in the 2025 Webster City Housing Urban Renewal Area, Pursuant to Section 403.19 of the Code of Iowa be passed and adopted.

ROLL CALL: Hansen, Hawkins, McFarland, McKinney and Welch voting aye.

e. It was moved by McFarland and seconded by Hansen that Resolution No. 2025-026 authorizing the City Manager to sign and execute Amendment No. 35 with Snyder and Associates to Provide Professional Design Services in connection to the Site Certification Process be passed and adopted.

ROLL CALL: Hawkins, McFarland, McKinney, Welch and Hansen voting aye.

It was moved by Hansen and seconded by Welch that Council adjourn.

ROLL CALL: McFarland, McKinney, Welch, Hansen and Hawkins voting aye.

The February 17, 2025 Regular City Council meeting stood adjourned at 6:28 p.m.

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Elizabeth Ann Smith, Deputy City Clerk

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John Hawkins, Mayor

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Sherry Simmons, Deputy City Clerk

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
<b>BLACK HILLS ENERGY (3466)</b>							
0976116930	1	Invoice	GAS UTILITY/LINE DEPT	02/07/2025	240.68	08/25	601-23-52-5586-234
0976116930	2	Invoice	GAS UTILITY/LINE DEPT	02/07/2025	240.68	08/25	601-23-51-5566-234
0976116930	3	Invoice	GAS UTILITY/LINE DEPT	02/07/2025	240.68	08/25	601-23-52-5588-234
Total 0976116930 2/7/25:					722.04		
5978424719	1	Invoice	GAS UTILITY/WATER PLANT SHED	02/07/2025	422.97	08/25	602-23-61-5642-234
Total 5978424719 2/7/25:					422.97		
6506969580	1	Invoice	GAS UTILITY/WATER PLANT	02/07/2025	464.55	08/25	602-23-61-5642-234
Total 6506969580 2/7/25:					464.55		
Total BLACK HILLS ENERGY (3466):					1,609.56		
<b>CARD SERVICES (140)</b>							
0000 2/1/25	1	Invoice	DINGMAN - DNR WA TREATMENT 4	02/01/2025	42.54	02/24	603-23-70-5930-215
0000 2/1/25	2	Invoice	ANNUAL WB DOMAIN NAME	02/01/2025	18.17	02/24	100-22-42-5210-215
0000 2/1/25	3	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	1.62	02/24	100-24-12-5430-315
0000 2/1/25	4	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	.48	02/24	100-21-18-5190-315
0000 2/1/25	5	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	2.76	02/24	100-21-22-5140-315
0000 2/1/25	6	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	15.33	02/24	100-24-14-5435-315
0000 2/1/25	7	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	17.23	02/24	601-23-52-5935-315
0000 2/1/25	8	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	1.10	02/24	601-23-80-5935-315
0000 2/1/25	9	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	1.10	02/24	602-23-80-5935-315
0000 2/1/25	10	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	29.07	02/24	100-21-21-5110-315
0000 2/1/25	11	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	3.49	02/24	100-22-42-5210-315
0000 2/1/25	12	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	3.49	02/24	100-23-42-5371-315
0000 2/1/25	13	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	38.20	02/24	204-23-30-5310-315
0000 2/1/25	14	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	3.21	02/24	603-23-70-5935-315
0000 2/1/25	15	Invoice	FUEL CLOUD SUBSCRIPTION	02/01/2025	5.42	02/24	602-23-61-5935-315
Total 0000 2/1/25:					183.21		
0001 2/1/25	1	Invoice	NOWELL NOTARY RENEWAL	02/01/2025	30.00	02/24	100-21-21-5180-215
0001 2/1/25	2	Invoice	USPS	02/01/2025	11.45	02/24	100-21-21-5110-221
Total 0001 2/1/25:					41.45		
0003 2/1/25	1	Invoice	GOOGLE LLC	02/01/2025	861.51	02/24	100-24-16-5420-215
0003 2/1/25	2	Invoice	CREXENDO	02/01/2025	44.88	02/24	100-22-42-5280-230
0003 2/1/25	3	Invoice	GOOGLE LLC	02/01/2025	861.51	02/24	100-24-16-5420-215
Total 0003 2/1/25:					1,767.90		
0004 2/1/25	1	Invoice	REGISTRATION FEE	02/01/2025	25.00	02/24	100-24-12-5430-232
0004 2/1/25	2	Invoice	ISU MUNICIPAL PROFESSIONAL INSTITUTE	02/01/2025	224.00	02/24	100-24-12-5430-232
0004 2/1/25	3	Invoice	CM MEETING	02/01/2025	63.87	02/24	100-24-12-5430-232
0004 2/1/25	4	Invoice	SUBSCRIPTION	02/01/2025	41.72	02/24	100-24-12-5430-215
0004 2/1/25	5	Invoice	CM MEETING	02/01/2025	43.69	02/24	100-24-12-5430-232
0004 2/1/25	6	Invoice	CREDIT - BLUE PROGRAM (KARYLS CARD)	02/01/2025	21.99	02/24	232-21-21-5110-318
Total 0004 2/1/25:					376.29		
0189 2/1/25	1	Invoice	CANVA PRO	02/01/2025	120.00	02/24	100-22-42-5233-299
0189 2/1/25	2	Invoice	CHAMBER COFFEE - KWIK STAR	02/01/2025	47.53	02/24	100-24-12-5430-232

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
0189 2/1/25	3	Invoice	CHAMBER COFFEE - GRAMAS DINER	02/01/2025	38.52	02/24	100-24-12-5430-232
0189 2/1/25	4	Invoice	CPM PARKING - RODEN	02/01/2025	7.50	02/24	100-23-42-5371-231
0189 2/1/25	5	Invoice	CPM PARKING - RODEN	02/01/2025	7.50	02/24	100-23-42-5371-231
0189 2/1/25	6	Invoice	CPM MEAL - RODEN	02/01/2025	8.75	02/24	100-23-42-5371-231
0189 2/1/25	7	Invoice	SERVSAFE BOOK & TRAINING	02/01/2025	275.36	02/24	100-22-42-5242-231
0189 2/1/25	8	Invoice	PUBLIC SWIM LESSON BOOKLETS	02/01/2025	58.80	02/24	100-22-42-5242-318
Total 0189 2/1/25:					563.96		
0221 2/1/25	1	Invoice	TRAINING BOOK	02/01/2025	92.61	02/24	100-21-22-5140-231
0221 2/1/25	2	Invoice	WALMART CREDIT	02/01/2025	42.79	02/24	100-21-22-5140-231
Total 0221 2/1/25:					49.82		
0239 2/1/25	1	Invoice	TRAINING MEAL 12/11/24	02/01/2025	35.99	02/24	204-23-30-5310-231
Total 0239 2/1/25:					35.99		
0312 2/1/25	1	Invoice	FLAGS FOR CITY HALL	02/01/2025	171.07	02/24	100-24-36-5480-318
0312 2/1/25	2	Invoice	EMPLOYEE REC SUPPLIES	02/01/2025	157.29	02/24	100-24-12-5430-299
Total 0312 2/1/25:					328.36		
0338 2/1/25	1	Invoice	ADJUST NOV CREDIT 0000	02/01/2025	129.32	02/24	603-23-70-5642-318
0338 2/1/25	2	Invoice	FDIC INTERNATIONAL - 2 FIRE	02/01/2025	2,560.00	02/24	100-21-22-5140-231
Total 0338 2/1/25:					2,689.32		
0346 2/1/25	1	Invoice	MECHANICAL INSPECTOR	02/01/2025	240.00	02/24	100-21-18-5190-231
0346 2/1/25	2	Invoice	MECHANICAL INSPECTOR STUDY GUIDE	02/01/2025	68.89	02/24	100-21-18-5190-231
Total 0346 2/1/25:					308.89		
Total CARD SERVICES (140):					6,345.19		
<b>IOWA EPOXY FLOORING, LLC (7948)</b>							
2553	1	Invoice	FD FLOOR EPOXY	01/15/2025	6,546.00	08/25	100-21-22-5140-226
Total 2553:					6,546.00		
Total IOWA EPOXY FLOORING, LLC (7948):					6,546.00		
<b>IOWA SPECIALITY HOSPITAL-CLARION (7796)</b>							
9401264757	1	Invoice	4TH QTR DT	02/03/2025	55.00	08/25	204-23-30-5310-212
9401264757	2	Invoice	4TH QTR DT	02/03/2025	50.00	08/25	602-23-61-5923-212
9401264757	3	Invoice	4TH QTR DT	02/03/2025	55.00	08/25	603-23-70-5923-212
Total 9401264757:					160.00		
Total IOWA SPECIALITY HOSPITAL-CLARION (7796):					160.00		
<b>NORTH IOWA MUNICIPAL ELECTRIC (705)</b>							
JAN2025	1	Invoice	PURCHASED POWER - JANUARY 2025	02/10/2025	665,506.84	08/25	601-23-50-5555-233
Total JAN2025:					665,506.84		
Total NORTH IOWA MUNICIPAL ELECTRIC (705):					665,506.84		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
<b>PEOPLES CREDIT UNION (4140)</b>							
3/1/25	1	Invoice	LOAN PAYMENT 3/1/25-POLICE-PRINCIPAL P	02/18/2025	5,312.82	08/25	100-41-21-5110-910
3/1/25	2	Invoice	LOAN PAYMENT 3/1/25 -POLICE-INTEREST P	02/18/2025	53.67	08/25	100-41-21-5110-911
Total 3/1/25:					5,366.49		
Total PEOPLES CREDIT UNION (4140):					5,366.49		
<b>UNITED COOPERATIVE (979)</b>							
12209	1	Invoice	AIRPORT LP	01/02/2025	810.14	08/25	205-23-45-5372-234
Total 12209:					810.14		
12350	1	Invoice	AIRPORT LP	01/15/2025	1,181.39	08/25	205-23-45-5372-234
Total 12350:					1,181.39		
12384	1	Invoice	AIRPORT LP	01/21/2025	506.39	08/25	205-23-45-5372-234
Total 12384:					506.39		
12385	1	Invoice	AIRPORT LP	01/21/2025	337.77	08/25	205-23-45-5372-234
Total 12385:					337.77		
12449	1	Invoice	AIRPORT LP	01/28/2025	1,147.64	08/25	205-23-45-5372-234
Total 12449:					1,147.64		
Total UNITED COOPERATIVE (979):					3,983.33		
Total 02/18/2025:					689,517.41		



Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
<b>BLACK HILLS ENERGY (3466)</b>							
2074931097	1	Invoice	GAS UTILITY/CEMETERY	02/20/2025	1,237.32	08/25	100-23-42-5371-234
Total 2074931097 2/20/25:					1,237.32		
5470636360	1	Invoice	GAS UTILITY/FULLER HALL	02/14/2025	628.68	08/25	100-22-42-5233-234
Total 5470636360 2/14/25:					628.68		
5542531803	1	Invoice	GAS UTILITY/FIRE STATION	02/14/2025	850.87	08/25	100-21-22-5140-234
Total 5542531803 2/14/25:					850.87		
6686529163	1	Invoice	GAS UTILITY/OD POOL	02/21/2025	46.18	08/25	100-22-42-5242-234
Total 6686529163 2/21/25:					46.18		
7824805624	1	Invoice	GAS UTILITY/CITY SEWAGE DISP PLT	02/21/2025	1,470.56	08/25	603-23-70-5642-234
Total 7824805624 2/21/25:					1,470.56		
8081102404	1	Invoice	GAS UTILITY/SENIOR CENTER	02/14/2025	599.25	08/25	100-22-42-5280-234
Total 8081102404 2/14/25:					599.25		
9634407409	1	Invoice	GAS UTILITY/STREET DEPT	02/21/2025	1,710.80	08/25	204-23-30-5310-234
Total 9634407409 2/21/25:					1,710.80		
Total BLACK HILLS ENERGY (3466):					6,543.66		
Total 02/25/2025:					6,543.66		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
<b>AGSOURCE (4458)</b>							
PS-INV3923	1	Invoice	WATER MAIN BREAK SAMPLES	02/18/2025	29.00	09/25	602-23-62-5662-212
Total PS-INV392335:					29.00		
PS-INV3928	1	Invoice	WATER MAIN BREAK SAMPLES	02/25/2025	69.00	09/25	602-23-62-5662-212
Total PS-INV392854:					69.00		
Total AGSOURCE (4458):					98.00		
<b>AIRGAS USA, LLC (25)</b>							
9158367932	1	Invoice	ACETYLENE	02/01/2025	59.55	09/25	204-23-30-5310-318
Total 9158367932:					59.55		
Total AIRGAS USA, LLC (25):					59.55		
<b>ALEXANDER III, VERN (2177)</b>							
2/1/25	1	Invoice	ENERGY EFFICIENCY REBATE	02/01/2025	75.00	09/25	601-23-36-5930-979
Total 2/1/25:					75.00		
Total ALEXANDER III, VERN (2177):					75.00		
<b>ALTEC INDUSTRIES, INC. (35)</b>							
51607532	1	Invoice	REPAIR TK#4	02/20/2025	4,581.38	09/25	601-23-52-5935-227
Total 51607532:					4,581.38		
Total ALTEC INDUSTRIES, INC. (35):					4,581.38		
<b>ARNOLD MOTOR SUPPLY (68)</b>							
26NV115978	1	Invoice	ENGINE OIL	02/11/2025	7.05	09/25	601-23-52-5935-314
Total 26NV115978:					7.05		
26NV116403	1	Invoice	E33 LIGHT REPAIR	02/19/2024	7.88	09/25	100-21-22-5140-227
Total 26NV116403:					7.88		
26NV116603	1	Invoice	AIR FILTER	02/24/2025	34.79	09/25	100-22-42-5210-314
Total 26NV116603:					34.79		
Total ARNOLD MOTOR SUPPLY (68):					49.72		
<b>ARTS R ALIVE IN WEBSTER CITY (5883)</b>							
022425	1	Invoice	HOTEL/MOTEL GRANT - RD.27 ADVANCE	02/24/2025	2,100.00	09/25	208-23-36-5393-299
Total 022425:					2,100.00		
Total ARTS R ALIVE IN WEBSTER CITY (5883):					2,100.00		
<b>AUTOMATIC SYSTEMS COMPANY (81)</b>							
042931	1	Invoice	SCADA UPGRADE	02/14/2025	19,044.00	09/25	621-23-61-5652-299

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
Total 042931:					19,044.00		
Total AUTOMATIC SYSTEMS COMPANY (81):					19,044.00		
<b>BECKSTROM CONSTRUCTION INC. (8017)</b>							
8405	1	Invoice	EAST SIDE CONVERSION PROJECT CONST	02/19/2025	209,954.75	09/25	614-23-52-5588-299
Total 8405:					209,954.75		
Total BECKSTROM CONSTRUCTION INC. (8017):					209,954.75		
<b>BOMGAARS (5165)</b>							
62226172	1	Invoice	CABLE TIES	01/29/2025	6.00	09/25	601-23-80-5905-318
62226172	2	Invoice	CABLE TIES	01/29/2025	5.99	09/25	602-23-80-5903-318
Total 62226172:					11.99		
62228559	1	Invoice	CM OFFICE SUPPLIES	02/07/2025	6.87	09/25	100-24-12-5430-316
62228559	2	Invoice	CITY HALL BLDG SUPPLIES	02/07/2025	39.74	09/25	100-24-36-5480-318
Total 62228559:					46.61		
62230295	1	Invoice	WATER PLANT MAINT SUPPLIES	02/13/2025	40.68	09/25	602-23-61-5642-318
Total 62230295:					40.68		
62230409	1	Invoice	DISC	02/13/2025	23.96	09/25	204-23-30-5310-318
Total 62230409:					23.96		
62230691	1	Invoice	WET/DRY VAC & MECHANICS SET	02/14/2025	329.98	09/25	601-23-52-5588-311
Total 62230691:					329.98		
62230701	1	Invoice	WIRELESS EARPHONES	02/14/2025	59.99	09/25	204-23-30-5310-318
Total 62230701:					59.99		
62230944	1	Invoice	DOGFOOD	02/15/2025	34.99	09/25	214-21-21-5110-318
Total 62230944:					34.99		
62231609	1	Invoice	DETENT PIN	02/17/2025	16.58	09/25	601-23-52-5588-318
Total 62231609:					16.58		
62231631	1	Invoice	BAR & CHAIN OIL	02/17/2025	26.99	09/25	100-22-42-5210-315
62231631	2	Invoice	CASTER	02/17/2025	7.99	09/25	100-22-42-5210-314
Total 62231631:					34.98		
62231646	1	Invoice	PRIMER & PAINT TK4	02/17/2025	43.96	09/25	601-23-52-5935-314
Total 62231646:					43.96		
62231783	1	Invoice	ROCK BOX MAINT	02/18/2025	27.66	09/25	601-23-52-5935-314

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
Total 62231783:					27.66		
62232091	1	Invoice	LINE HEAD	02/19/2025	36.99	09/25	100-23-42-5371-314
62232091	2	Invoice	KNEELING MAT & RAIN GAUGE	02/19/2025	47.99	09/25	100-23-42-5371-318
Total 62232091:					84.98		
62232733	1	Invoice	FURNACE FILTER	02/21/2025	37.99	09/25	601-23-52-5591-310
62232733	2	Invoice	CLEVIS SLIP HOOKS	02/21/2025	15.58	09/25	601-23-52-5588-318
Total 62232733:					53.57		
62234350	1	Invoice	MAINT SUPPLIES	02/26/2025	89.61	09/25	603-23-70-5642-318
Total 62234350:					89.61		
Total BOMGAARS (5165):					899.54		
<b>CAPITAL SANITARY SUPPLY (6096)</b>							
C401110A	1	Invoice	FH SUPPLIES	02/19/2025	64.27	09/25	100-22-42-5233-318
Total C401110A:					64.27		
C401791	1	Invoice	FH SUPPLIES	02/19/2025	152.66	09/25	100-22-42-5233-318
Total C401791:					152.66		
C401839	1	Invoice	FH SUPPLIES	02/19/2025	51.51	09/25	100-22-42-5233-318
Total C401839:					51.51		
Total CAPITAL SANITARY SUPPLY (6096):					268.44		
<b>CARRICO AQUATIC RESOURCES (6820)</b>							
20251050	1	Invoice	POOL CHEMICALS	02/17/2025	881.00	09/25	100-22-42-5233-318
Total 20251050:					881.00		
Total CARRICO AQUATIC RESOURCES (6820):					881.00		
<b>CENTRAL IOWA BLDG SUPPLY (1298)</b>							
1025389	1	Invoice	BARRICADE TRAILER SUPPLIES	02/10/2025	21.42	09/25	204-21-30-5120-318
Total 1025389:					21.42		
1025407	1	Invoice	FABRICATE HANGER FOR PRIMARY CLARIFI	02/11/2025	315.08	09/25	603-23-70-5652-226
Total 1025407:					315.08		
1025433	1	Invoice	TK29 MATERIAL	02/11/2025	52.72	09/25	601-23-52-5935-314
Total 1025433:					52.72		
1025452	1	Invoice	PLATE FOR BIG TRENCHER	02/12/2025	25.00	09/25	601-23-52-5935-314
Total 1025452:					25.00		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
1025528	1	Invoice	ROCK BOX MATERIAL	02/17/2025	16.33	09/25	601-23-52-5935-314
Total 1025528:					16.33		
1025616	1	Invoice	SHOP WORKBENCH	02/21/2025	365.70	09/25	601-23-52-5588-318
Total 1025616:					365.70		
Total CENTRAL IOWA BLDG SUPPLY (1298):					796.25		
<b>CHIZEK LAW OFFICE (5715)</b>							
MAR2025	1	Invoice		03/01/2025	6,500.00	09/25	100-24-13-5460-212
Total MAR2025:					6,500.00		
Total CHIZEK LAW OFFICE (5715):					6,500.00		
<b>CITY OF WEBSTER CITY (176)</b>							
2/14/2025	12	1 Invoice	CITY UTILITIES	02/14/2025	224.39	09/25	100-21-18-5190-233
Total 2/14/2025 12:00:00 AM:					224.39		
2/25/2025	12	1 Invoice	CITY UTILITIES	02/25/2025	1,960.45	09/25	100-21-22-5140-233
2/25/2025	12	2 Invoice	CITY UTILITIES	02/25/2025	493.69	09/25	100-22-42-5210-233
2/25/2025	12	3 Invoice	CITY UTILITIES	02/25/2025	672.05	09/25	100-22-42-5222-233
2/25/2025	12	4 Invoice	CITY UTILITIES	02/25/2025	4,286.12	09/25	100-22-42-5233-233
2/25/2025	12	5 Invoice	CITY UTILITIES	02/25/2025	587.88	09/25	100-22-42-5242-233
2/25/2025	12	6 Invoice	CITY UTILITIES	02/25/2025	695.93	09/25	100-22-42-5280-233
2/25/2025	12	7 Invoice	CITY UTILITIES	02/25/2025	562.76	09/25	100-23-42-5371-233
2/25/2025	12	8 Invoice	CITY UTILITIES	02/25/2025	436.62	09/25	100-23-43-5361-233
2/25/2025	12	9 Invoice	CITY UTILITIES	02/25/2025	3,469.42	09/25	100-24-36-5480-233
2/25/2025	12	10 Invoice	CITY UTILITIES	02/25/2025	1,331.86	09/25	204-23-30-5310-233
2/25/2025	12	11 Invoice	CITY UTILITIES	02/25/2025	259.43	09/25	601-23-51-5566-233
2/25/2025	12	12 Invoice	CITY UTILITIES	02/25/2025	11,199.02	09/25	601-23-52-5585-233
2/25/2025	12	13 Invoice	CITY UTILITIES	02/25/2025	220.43	09/25	601-23-52-5586-233
2/25/2025	12	14 Invoice	CITY UTILITIES	02/25/2025	220.43	09/25	601-23-52-5588-233
2/25/2025	12	15 Invoice	CITY UTILITIES	02/25/2025	33,043.30	09/25	602-23-60-5601-233
2/25/2025	12	16 Invoice	CITY UTILITIES	02/25/2025	3,144.49	09/25	602-23-61-5642-233
2/25/2025	12	17 Invoice	CITY UTILITIES	02/25/2025	402.46	09/25	602-23-62-5662-233
2/25/2025	12	18 Invoice	CITY UTILITIES	02/25/2025	12,194.93	09/25	603-23-70-5642-233
2/25/2025	12	19 Invoice	CITY UTILITIES	02/25/2025	736.11	09/25	603-23-71-5662-233
Total 2/25/2025 12:00:00 AM:					75,917.38		
3/3/25	1	Invoice	2024 HOTEL/MOTEL TAX TO PARKS & REC I	03/03/2025	28,271.59	09/25	208-23-36-5393-299
Total 3/3/25:					28,271.59		
Total CITY OF WEBSTER CITY (176):					104,413.36		
<b>COLUMN SOFTWARE PBC (7826)</b>							
D1EC1C38-0	1	Invoice	PH DEV AGMT - WILSON ESTATES	02/07/2025	43.90	09/25	100-24-18-5470-210
Total D1EC1C38-0108:					43.90		
Total COLUMN SOFTWARE PBC (7826):					43.90		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
<b>COMBINED SYSTEMS TECH, INC. (4548)</b>							
170322	1	Invoice	MICROSOFT OFFICE 2025 PERPETUAL LICE	02/25/2025	536.68	09/25	100-24-16-5420-399
Total 170322:					536.68		
170335	1	Invoice	FIREWALL SUPPORT	02/26/2025	135.00	09/25	100-24-16-5420-212
Total 170335:					135.00		
Total COMBINED SYSTEMS TECH, INC. (4548):					671.68		
<b>CORN BELT POWER COOP, INC. (197)</b>							
17358	1	Invoice	TAPE READINGS	02/13/2025	40.00	09/25	601-23-51-5566-299
Total 17358:					40.00		
Total CORN BELT POWER COOP, INC. (197):					40.00		
<b>DAILY FREEMAN JOURNAL, INC. (211)</b>							
04-90-MAL00	1	Invoice	CM NEWSPAPER	02/01/2025	197.60	09/25	100-24-12-5430-215
Total 04-90-MAL0001-5151:					197.60		
Total DAILY FREEMAN JOURNAL, INC. (211):					197.60		
<b>DAKOTA SUPPLY GROUP (3498)</b>							
S104477801.	1	Invoice	SNOW BLADES FOR TRACTOR - AIRPORT	02/18/2025	1,255.28	09/25	205-23-45-5372-315
Total S104477801.001:					1,255.28		
S104481726.	1	Invoice	4X20 PVC PIPE	02/19/2025	139.27	09/25	602-23-62-5662-318
Total S104481726.001:					139.27		
Total DAKOTA SUPPLY GROUP (3498):					1,394.55		
<b>DEPT OF INSPECTIONS &amp; APPEALS (4225)</b>							
302166	1	Invoice	CITY HALL - IA084682 BOILER INSP	02/17/2025	40.00	09/25	100-24-36-5480-226
302166	2	Invoice	WWTP - IA109432 - BOILER INSP	02/17/2025	40.00	09/25	603-23-70-5930-215
Total 302166:					80.00		
Total DEPT OF INSPECTIONS & APPEALS (4225):					80.00		
<b>DR. ANTHONY TATMAN (6856)</b>							
45699	1	Invoice	POLICE TESTING	02/11/2025	10.00	09/25	100-21-21-5110-299
Total 45699:					10.00		
45709	1	Invoice	POLICE TESTING	02/21/2025	10.00	09/25	100-21-21-5110-299
Total 45709:					10.00		
Total DR. ANTHONY TATMAN (6856):					20.00		
<b>ECHO GROUP, INC. (6306)</b>							
S010974556.	1	Invoice	PLANT LIGHTING	02/13/2025	929.90	09/25	602-23-61-5651-310

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
Total S010974556.003:					929.90		
S011062849.	1	Invoice	100W PROGRAMMABLE OUTDOOR LED DRI	02/13/2025	67.10	09/25	601-23-52-5588-318
Total S011062849.001:					67.10		
Total ECHO GROUP, INC. (6306):					997.00		
<b>ELECTRONIC ENGINEERING (260)</b>							
552006201-1	1	Invoice	BATTERY	01/23/2025	127.05	09/25	204-23-30-5310-230
Total 552006201-1:					127.05		
Total ELECTRONIC ENGINEERING (260):					127.05		
<b>FASTENAL COMPANY (3509)</b>							
IAFTD27038	1	Invoice	CEMETERY SUPPLIES	02/14/2025	126.82	09/25	100-23-42-5371-312
IAFTD27038	2	Invoice	PARK SUPPLIES	02/14/2025	126.81	09/25	100-22-42-5210-312
Total IAFTD270386:					253.63		
Total FASTENAL COMPANY (3509):					253.63		
<b>GALLS, LLC - DBA CARPENTER UNIFORM (331)</b>							
030399997	1	Invoice	BOOTS	02/07/2025	87.98	09/25	100-21-21-5110-312
Total 030399997:					87.98		
Total GALLS, LLC - DBA CARPENTER UNIFORM (331):					87.98		
<b>GERBER AUTO CARE (342)</b>							
149692	1	Invoice	REPLACE BATTERY IN 2016 METER TK	02/13/2025	148.84	09/25	601-23-80-5935-227
149692	2	Invoice	REPLACE BATTERY IN 2016 METER TK	02/13/2025	148.85	09/25	602-23-80-5935-227
Total 149692:					297.69		
149773	1	Invoice	1803 TAHOE REPAIR	02/20/2025	312.04	09/25	100-21-21-5110-227
Total 149773:					312.04		
149787	1	Invoice	OIL CHANGE 23 CHARGER - 2306	02/21/2025	60.65	09/25	100-21-21-5110-227
Total 149787:					60.65		
Total GERBER AUTO CARE (342):					670.38		
<b>GORDON FLESCH COMPANY (6978)</b>							
IN15049465	1	Invoice	WWTP PRINTER	02/19/2025	57.42	09/25	603-23-70-5931-225
Total IN15049465:					57.42		
Total GORDON FLESCH COMPANY (6978):					57.42		
<b>HARRENSTEIN, JOHN (8047)</b>							
45665	1	Invoice	VEHICLE EXPENSE	01/08/2025	44.23	09/25	100-24-12-5430-315

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
Total 45665:					44.23		
45678	1	Invoice	VEHICLE EXPENSE	01/21/2025	207.96	09/25	100-24-12-5430-315
Total 45678:					207.96		
Total HARRENSTEIN, JOHN (8047):					252.19		
<b>HARTNETT, LORI (4369)</b>							
2/9/25	1	Invoice	ENERGY EFFICIENCY REBATE	02/09/2025	75.00	09/25	601-23-36-5930-979
Total 2/9/25:					75.00		
Total HARTNETT, LORI (4369):					75.00		
<b>HAWKEYE WEST PEST CONTROL (7345)</b>							
70742	1	Invoice	PEST CONTROL - ST DEPT	02/13/2025	90.00	09/25	204-23-30-5310-299
Total 70742:					90.00		
Total HAWKEYE WEST PEST CONTROL (7345):					90.00		
<b>HAWKINS, INC. (3668)</b>							
6994228	1	Invoice	CHEMICALS	02/24/2025	10,458.53	09/25	602-23-61-5641-318
Total 6994228:					10,458.53		
Total HAWKINS, INC. (3668):					10,458.53		
<b>HENDERSON PRODUCTS, INC (4010)</b>							
416650	1	Invoice	REPLACE BROKEN CYLINDERS & CUSHION	02/18/2025	1,149.93	09/25	204-23-30-5320-314
Total 416650:					1,149.93		
Total HENDERSON PRODUCTS, INC (4010):					1,149.93		
<b>HILPIPRE, DICK (8143)</b>							
661701	1	Invoice	WASHER REPAIR	01/03/2025	45.00	09/25	601-23-52-5588-299
Total 661701:					45.00		
Total HILPIPRE, DICK (8143):					45.00		
<b>inTANDEM (6526)</b>							
1/22/2024 12	1	Invoice		11/22/2024	2,440.00	09/25	100-24-12-5430-299
Total 1/22/2024 12:00:00 AM:					2,440.00		
Total inTANDEM (6526):					2,440.00		
<b>IOWA ASSN OF PRO. FIRE CHIEFS (8144)</b>							
C.STANSFIE	1	Invoice	MEMBERSHIP DUES	03/01/2025	100.00	09/25	100-21-22-5140-215
Total C.STANSFIELD:					100.00		
Total IOWA ASSN OF PRO. FIRE CHIEFS (8144):					100.00		



Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
<b>IOWA OSHA (5963)</b>							
1785254-066	1	Invoice	OSHA CITATION PENALTY	01/24/2025	4,000.00	09/25	100-23-30-5310-312
Total 1785254-06680:					4,000.00		
Total IOWA OSHA (5963):					4,000.00		
<b>JOHN DEERE FINANCIAL (7654)</b>							
10772823	1	Invoice	JD CYLINDER	02/11/2025	575.49	09/25	100-22-42-5210-314
Total 10772823:					575.49		
10773323	1	Invoice	JD CYLINDER	02/14/2025	575.49	09/25	100-22-42-5210-314
Total 10773323:					575.49		
10774232	1	Invoice	JD CYLINDER	02/21/2025	575.49	09/25	100-22-42-5210-314
Total 10774232:					575.49		
10774238	1	Invoice	OIL FILTERS	02/21/2025	48.91	09/25	100-22-42-5210-314
10774238	2	Invoice	OIL	02/21/2025	328.26	09/25	100-22-42-5210-315
Total 10774238:					377.17		
Total JOHN DEERE FINANCIAL (7654):					2,103.64		
<b>LIFT-WC (7743)</b>							
H/M RD27	1	Invoice	HOTEL/MOTEL GRANT/RD 27	02/20/2025	60,000.00	09/25	208-23-36-5393-299
Total H/M RD27:					60,000.00		
Total LIFT-WC (7743):					60,000.00		
<b>LINCOLN NATL LIFE INSURANCE CO (3031)</b>							
4808302208	1	Invoice	LIFE PREM MARCH	02/20/2025	1,648.35	09/25	902-11215
Total 4808302208:					1,648.35		
Total LINCOLN NATL LIFE INSURANCE CO (3031):					1,648.35		
<b>LURA, LISA (8141)</b>							
9/6/24	1	Invoice	ENERGY EFFICIENCY REBATE - WINDOWS 1	09/06/2024	250.00	09/25	601-23-36-5930-979
Total 9/6/24:					250.00		
Total LURA, LISA (8141):					250.00		
<b>LYNCH DALLAS, P.C./ATTY AT LAW (6336)</b>							
221370	1	Invoice	PROF SVC	02/12/2022	200.00	09/25	100-24-18-5470-212
Total 221370:					200.00		
Total LYNCH DALLAS, P.C./ATTY AT LAW (6336):					200.00		
<b>MARTINEZ, LUIS ORLANDO CELIS (6883)</b>							
2/18/25	1	Invoice	DEPOSIT REFUND 1111 SECOND ST	02/18/2025	500.00	09/25	601-21011

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
Total 2/18/25:					500.00		
Total MARTINEZ, LUIS ORLANDO CELIS (6883):					500.00		
<b>MC CLURE ENGINEERING CO. (7469)</b>							
155675	1	Invoice	RECONSTRUCT AIRFIELD LIGHTING & NAVA	10/28/2024	627.71	09/25	205-23-45-5372-880
Total 155675:					627.71		
Total MC CLURE ENGINEERING CO. (7469):					627.71		
<b>MENARDS (622)</b>							
26107	1	Invoice	ELECTRIC MATERIAL - WTP	02/12/2025	138.07	09/25	602-23-61-5642-318
Total 26107:					138.07		
26202	1	Invoice	GREEN TREATED LUMBER FOR PICNIC TAB	02/14/2025	1,122.55	09/25	100-22-42-5210-318
Total 26202:					1,122.55		
26326	1	Invoice	ELECTRIC MATERIALS	02/17/2025	227.43	09/25	601-23-52-5588-318
Total 26326:					227.43		
26552	1	Invoice	ST OFFICE	02/21/2025	133.76	09/25	204-23-30-5310-316
Total 26552:					133.76		
Total MENARDS (622):					1,621.81		
<b>MID COUNTRY MACHINERY (2018)</b>							
P48557	1	Invoice	SERVICE KITS	02/14/2025	117.90	09/25	100-23-42-5371-314
P48557	2	Invoice	SERVICE KITS	02/14/2025	117.90	09/25	100-22-42-5210-314
Total P48557:					235.80		
P48558	1	Invoice	HANDHELD BLOWER	02/14/2025	279.99	09/25	100-22-42-5210-311
Total P48558:					279.99		
P48559	1	Invoice	WEED TRIMMER	02/14/2025	260.00	09/25	100-23-42-5371-311
P48559	2	Invoice	WEED TRIMMER	02/14/2025	260.00	09/25	100-22-42-5210-311
Total P48559:					520.00		
P48616	1	Invoice	STIHL LABOR	02/21/2025	25.00	09/25	100-22-42-5210-227
P48616	2	Invoice	PARTS	02/21/2025	147.70	09/25	100-22-42-5210-314
Total P48616:					172.70		
Total MID COUNTRY MACHINERY (2018):					1,208.49		
<b>MIDWEST ALARM SERVICES (2420)</b>							
487275	1	Invoice	CITY HALL FIRE INSPECTIONS (3/1/25-2/28/2	02/08/2025	232.08	09/25	100-24-36-5480-226
487275	2	Invoice	SUBSTATION FIRE INSPECTIONS (3/1/25-2/2	02/08/2025	537.48	09/25	601-23-51-5566-299

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
Total 487275:					769.56		
487423	1	Invoice	DETECTOR CLEANING/INSPECTION-STREE	02/08/2025	530.52	09/25	204-23-30-5310-299
Total 487423:					530.52		
Total MIDWEST ALARM SERVICES (2420):					1,300.08		
<b>MISSISSIPPI LIME COMPANY (652)</b>							
CD65025	1	Invoice	Lime	02/11/2025	9,425.94	09/25	602-23-61-5641-318
Total CD65025:					9,425.94		
Total MISSISSIPPI LIME COMPANY (652):					9,425.94		
<b>MOCIC (2870)</b>							
0251046-IN	1	Invoice	DEPARTMENT MEMBERSHIP FEE 2025	01/09/2025	150.00	09/25	100-21-21-5110-215
Total 0251046-IN:					150.00		
Total MOCIC (2870):					150.00		
<b>MOORE CLEANING SERVICE, LLC (2902)</b>							
MAR2025 #1	1	Invoice		01/01/2025	1,300.00	09/25	100-24-36-5480-299
Total MAR2025 #1:					1,300.00		
Total MOORE CLEANING SERVICE, LLC (2902):					1,300.00		
<b>MUNICIPAL SUPPLY, INC. (672)</b>							
0932778-IN	1	Invoice	6"X15" REPAIR CLAMP	01/29/2025	300.93	09/25	602-23-62-5662-318
Total 0932778-IN:					300.93		
0933687-IN	1	Invoice	6"X30" REPAIR CLAMP	02/12/2025	559.69	09/25	602-23-62-5662-318
Total 0933687-IN:					559.69		
Total MUNICIPAL SUPPLY, INC. (672):					860.62		
<b>NAPA AUTO PARTS (677)</b>							
999688	1	Invoice	FILTERS & ARMOR ALL	02/18/2025	73.97	09/25	204-23-30-5310-314
Total 999688:					73.97		
999763	1	Invoice	BELTS FOR SODA ASH PULLEYS	02/19/2025	141.21	09/25	602-23-61-5935-314
Total 999763:					141.21		
Total NAPA AUTO PARTS (677):					215.18		
<b>NORMAN, DAN (8140)</b>							
1/28/25	1	Invoice	ENERGY EFFICIENCY REBATE - THERMOST	01/25/2025	50.00	09/25	601-23-36-5930-979
Total 1/28/25:					50.00		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
Total NORMAN, DAN (8140):					50.00		
<b>O'REILLY AUTOMOTIVE, INC. (727)</b>							
0357-218654	1	Invoice	BLADE GUIDE	02/13/2025	29.63	09/25	100-22-42-5210-314
Total 0357-218654:					29.63		
0357-219079	1	Invoice	CAPSULE	02/18/2025	20.32	09/25	100-21-21-5110-314
Total 0357-219079:					20.32		
0357-219094	1	Invoice	CAPSULE RETURN	02/18/2025	20.32-	09/25	100-21-21-5110-314
Total 0357-219094:					20.32-		
0357-219095	1	Invoice	CAPSULE - no tax	02/18/2025	18.99	09/25	100-21-21-5110-314
Total 0357-219095:					18.99		
Total O'REILLY AUTOMOTIVE, INC. (727):					48.62		
<b>OVERHEAD DOOR COMPANY (732)</b>							
65481	1	Invoice	OH DOOR #5 BLDG 2	01/27/2025	1,255.83	09/25	204-23-30-5310-226
Total 65481:					1,255.83		
65681	1	Invoice	OH DOOR #5 BLDG 2 - MOTOR REPLACED	02/18/2025	1,657.00	09/25	204-23-30-5310-226
Total 65681:					1,657.00		
Total OVERHEAD DOOR COMPANY (732):					2,912.83		
<b>PEPSI-COLA (7435)</b>							
11681010	1	Invoice	BEVERAGES FOR RESALE	02/19/2025	409.81	09/25	100-22-42-5233-323
Total 11681010:					409.81		
Total PEPSI-COLA (7435):					409.81		
<b>PETERSON CONSTRUCTION (749)</b>							
HVAC #2	1	Invoice	CONSTRUCTION - CITY HALL HVAC #2	01/31/2025	114,570.00	09/25	539-24-36-5480-299
Total HVAC #2:					114,570.00		
Total PETERSON CONSTRUCTION (749):					114,570.00		
<b>PITNEY BOWES BANK INC RESERVE ACCT (758)</b>							
MAR2025	1	Invoice	PREPAID POSTAGE	03/01/2025	4,500.00	09/25	100-11210
Total MAR2025:					4,500.00		
Total PITNEY BOWES BANK INC RESERVE ACCT (758):					4,500.00		
<b>PLUMB SUPPLY CO. INC. (761)</b>							
S100843287.	1	Invoice	LINE DEPT HEATERS	02/07/2025	83.40	09/25	601-23-52-5591-310
Total S100843287.001:					83.40		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
S100845110.	1	Invoice	LINE DEPT HEATERS	02/05/2025	83.00	09/25	601-23-52-5591-310
Total S100845110.001:					83.00		
Total PLUMB SUPPLY CO. INC. (761):					166.40		
<b>POLICE LEGAL SCIENCES, INC. (2907)</b>							
13144	1	Invoice	DISPATCH PRO LESSON PACKAGE	02/13/2025	854.00	09/25	100-21-21-5180-231
Total 13144:					854.00		
13145	1	Invoice	ANNUAL LEGAL UPDATE 16 LESSON PACKA	02/13/2025	2,106.00	09/25	100-21-21-5110-231
Total 13145:					2,106.00		
Total POLICE LEGAL SCIENCES, INC. (2907):					2,960.00		
<b>RICOH USA, INC. (4831)</b>							
108969017	1	Invoice	COPY MACHINE LEASE (PD)	02/07/2025	174.00	09/25	100-21-21-5110-225
Total 108969017:					174.00		
Total RICOH USA, INC. (4831):					174.00		
<b>SNYDER &amp; ASSOCIATES (2951)</b>							
124.0071.01	1	Invoice	WWTP ON-CALL ENG SVC	02/15/2025	3,191.50	09/25	603-23-70-5923-212
Total 124.0071.01A-8:					3,191.50		
124.0781.01-	1	Invoice	ENG - BEACH ST PCC # 9-25-006-1	01/29/2025	8,975.00	09/25	543-23-30-5310-299
Total 124.0781.01-7:					8,975.00		
124.0781.01-	1	Invoice	ENG - BEACH ST PCC # 9-25-006-1	02/19/2025	2,791.50	09/25	543-23-30-5310-299
Total 124.0781.01-8:					2,791.50		
Total SNYDER & ASSOCIATES (2951):					14,958.00		
<b>STATE HYGIENIC LABORATORY (423)</b>							
295328	1	Invoice	WASTEWATER TESTING FEES	01/31/2025	1,993.50	09/25	603-23-70-5923-212
Total 295328:					1,993.50		
295329	1	Invoice	WATER TESTING FEES	01/31/2025	431.50	09/25	602-23-61-5651-299
Total 295329:					431.50		
Total STATE HYGIENIC LABORATORY (423):					2,425.00		
<b>STATE OF IOWA (5683)</b>							
DAS2025073	1	Invoice	CPM TRAINING - RODEN	02/07/2025	3,500.00	09/25	100-22-42-5210-231
Total DAS2025073415:					3,500.00		
Total STATE OF IOWA (5683):					3,500.00		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
<b>STORM FLYING SERVICE, INC. (911)</b>							
MAR2025	1	Invoice		03/01/2025	4,583.33	09/25	205-23-45-5372-299
Total MAR2025:					4,583.33		
Total STORM FLYING SERVICE, INC. (911):					4,583.33		
<b>SUMMERS, TASHA (8142)</b>							
2/7/25	1	Invoice	ENERGY EFFICIENCY REBATE	02/07/2025	150.00	09/25	601-23-36-5930-979
Total 2/7/25:					150.00		
Total SUMMERS, TASHA (8142):					150.00		
<b>T-MOBILE CENTRAL (8139)</b>							
2/14/25	1	Invoice	REFUND DEPOSIT 1623 230TH ST	02/14/2025	221.35	09/25	601-21011
Total 2/14/25:					221.35		
Total T-MOBILE CENTRAL (8139):					221.35		
<b>TONY'S TIRE SERVICE (958)</b>							
186649	1	Invoice	TIRE REPLACEMENT TK#007	02/03/2025	406.28	09/25	204-23-30-5310-227
Total 186649:					406.28		
186664	1	Invoice	TIRE REPLACEMENT TK#27	02/04/2025	336.73	09/25	204-23-30-5310-227
Total 186664:					336.73		
Total TONY'S TIRE SERVICE (958):					743.01		
<b>TRAFFIC &amp; TRANSPORTATION PROD. (961)</b>							
255016	1	Invoice	YELLOW & GREEN TRAFFIC LIGHTS	02/14/2025	892.00	09/25	601-23-52-5585-313
Total 255016:					892.00		
Total TRAFFIC & TRANSPORTATION PROD. (961):					892.00		
<b>TRUCK EQUIPMENT, INC. (1630)</b>							
317608	1	Invoice	SNOW PLOW BLADES	02/14/2025	216.39	09/25	100-23-42-5371-314
317608	2	Invoice	SNOW PLOW BLADES	02/14/2025	216.38	09/25	100-22-42-5210-314
Total 317608:					432.77		
Total TRUCK EQUIPMENT, INC. (1630):					432.77		
<b>US CELLULAR (986)</b>							
0709881513	1	Invoice	WATERFILL STATION	02/10/2025	16.02	09/25	602-23-62-5662-230
Total 0709881513:					16.02		
Total US CELLULAR (986):					16.02		
<b>VALUTECH PEST CONTROL (6822)</b>							
5586	1	Invoice	PEST CONTROL	02/20/2025	38.00	09/25	100-22-42-5280-299

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
Total 5586:					38.00		
5587	1	Invoice	PEST CONTROL	02/20/2025	32.00	09/25	100-24-36-5480-299
Total 5587:					32.00		
5588	1	Invoice	PEST CONTROL	02/20/2025	35.00	09/25	100-22-42-5233-299
Total 5588:					35.00		
Total VALUTECH PEST CONTROL (6822):					105.00		
<b>VAN-HOF TRUCKING, INC. (2655)</b>							
23218	1	Invoice	DELIVER LIME	02/13/2025	2,467.62	09/25	602-23-61-5921-221
Total 23218:					2,467.62		
Total VAN-HOF TRUCKING, INC. (2655):					2,467.62		
<b>VEENSTRA &amp; KIMM, INC. (5904)</b>							
10	1	Invoice	BLDG PERMIT FEES - JAN.2025	01/31/2025	2,549.50	09/25	100-21-18-5190-212
Total 10:					2,549.50		
Total VEENSTRA & KIMM, INC. (5904):					2,549.50		
<b>VISUAL EDGE IT, INC. (3995)</b>							
24AR242731	1	Invoice	PRINTER CONTRACT	02/06/2025	64.49	09/25	204-23-30-5310-225
Total 24AR2427316:					64.49		
24AR243389	1	Invoice	PRINTER CONTRACT	02/10/2025	61.70	09/25	602-23-61-5931-225
Total 24AR2433896:					61.70		
24AR243683	1	Invoice	PRINTER CONTRACT	02/11/2025	42.94	09/25	100-24-14-5435-225
Total 24AR2436837:					42.94		
24AR244456	1	Invoice	PRINTER CONTRACT	02/14/2025	89.69	09/25	100-24-16-5420-299
Total 24AR2444565:					89.69		
24AR245192	1	Invoice	PRINTER CONTRACT	02/18/2025	26.06	09/25	603-23-70-5931-225
Total 24AR2451924:					26.06		
Total VISUAL EDGE IT, INC. (3995):					284.88		
<b>WAHLTEK SALES &amp; SERVICES (2468)</b>							
IN110183	1	Invoice	CONTRACT FOR I RECORD SYSTEM (1 YR)	02/14/2025	2,322.20	09/25	100-21-21-5110-299
Total IN110183:					2,322.20		
Total WAHLTEK SALES & SERVICES (2468):					2,322.20		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
<b>WCAD - CHAMBER OF COMMERCE (3486)</b>							
3/3/25	1	Invoice	ANNUAL ALLOCATION FROM H/M RECEIPTS	03/03/2025	27,000.00	09/25	208-23-36-5393-213
Total 3/3/25:					27,000.00		
Total WCAD - CHAMBER OF COMMERCE (3486):					27,000.00		
<b>WEBSTER CITY ROTARY CLUB (8038)</b>							
1-27-25	1	Invoice	OCT,NOV,DEC-HARRENSTEIN	01/27/2025	160.00	09/25	100-24-12-5430-215
Total 1-27-25:					160.00		
Total WEBSTER CITY ROTARY CLUB (8038):					160.00		
<b>WEBSTER CITY TRUE VALUE (2155)</b>							
2502-084953	1	Invoice	WWTP SUPPLIES	02/10/2025	46.93	09/25	603-23-70-5642-318
Total 2502-084953:					46.93		
2502-084977	1	Invoice	BATTERIES	02/10/2025	20.99	09/25	100-22-42-5233-318
2502-084977	2	Invoice	BATTERIES	02/10/2025	20.99	09/25	100-22-42-5242-318
Total 2502-084977:					41.98		
2502-085273	1	Invoice	WATER PLANT FASTENERS	02/13/2025	20.14	09/25	602-23-61-5642-318
Total 2502-085273:					20.14		
2502-085791	1	Invoice	SHOP SUPPLIES	02/18/2025	8.59	09/25	601-23-52-5588-318
Total 2502-085791:					8.59		
2502-085816	1	Invoice	SHOP SUPPLIES	02/18/2025	3.29	09/25	601-23-52-5588-318
Total 2502-085816:					3.29		
2502-085861	1	Invoice	STATION SUPPLIES	02/18/2025	27.27	09/25	100-21-22-5140-226
Total 2502-085861:					27.27		
2502-086037	1	Invoice	UPS FEE - RUBBER GLOVE TESTING	02/20/2025	170.58	09/25	601-23-52-5921-221
Total 2502-086037:					170.58		
2502-086104	1	Invoice	NO TRESPASS SIGN	02/20/2025	5.58	09/25	100-21-18-5190-311
Total 2502-086104:					5.58		
2502-086623	1	Invoice	WWTP SUPPLIES	02/25/2025	42.46	09/25	603-23-70-5642-318
Total 2502-086623:					42.46		
Total WEBSTER CITY TRUE VALUE (2155):					366.82		
<b>WESCO RECEIVABLES CORP (1038)</b>							
379907	1	Invoice	STOCK SUPPLIES	02/18/2025	100.58	09/25	601-23-52-5588-318



Invoice	Seq	Type	Description	Invoice Date	Total Cost	Period	GL Account
Total 379907:					100.58		
Total WESCO RECEIVABLES CORP (1038):					100.58		
<b>WESTRUM LEAK DETECTION, INC. (1040)</b>							
5845	1	Invoice	LEAK DETECTION SERVICE 1/9/25 - MARY L	02/01/2025	600.00	09/25	602-23-62-5673-299
Total 5845:					600.00		
5859	1	Invoice	LEAK DETECTION SERVICE 2/7/25 - BEACH	02/13/2025	600.00	09/25	602-23-62-5673-299
Total 5859:					600.00		
Total WESTRUM LEAK DETECTION, INC. (1040):					1,200.00		
<b>ZIEGLER, INC. (1071)</b>							
IN001805406	1	Invoice	REPLACEMENT LAMP & BRACKET	02/14/2025	986.09	09/25	204-23-30-5320-314
Total IN001805406:					986.09		
IN001805466	1	Invoice	REPLACEMENT LAMP	02/14/2025	196.39	09/25	204-23-30-5310-314
Total IN001805466:					196.39		
IN001806684	1	Invoice	2 REPLACEMENT FENDERS	02/15/2025	751.60	09/25	204-23-30-5310-314
Total IN001806684:					751.60		
IN001813948	1	Invoice	BACKHOE #16	02/22/2025	120.28	09/25	204-23-30-5310-314
Total IN001813948:					120.28		
IN001814065	1	Invoice	GRADER #9 REPAIR PARTS	02/22/2025	7.28	09/25	204-23-30-5310-314
Total IN001814065:					7.28		
SI000606956	1	Invoice	LEVEL 1 SERVICE LOADER #17	02/18/2025	1,312.94	09/25	204-23-30-5310-227
Total SI000606956:					1,312.94		
Total ZIEGLER, INC. (1071):					3,374.58		
Total 03/03/2025:					648,028.97		
Grand Totals:					1,344,090.04		

Report GL Period Summary

GL Period	Amount
08/25	689,715.88
09/25	648,028.97
02/24	6,345.19

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GL Period	Amount
Grand Totals:	<u>1,344,090.04</u>

Vendor number hash: 587932  
Vendor number hash - split: 676198  
Total number of invoices: 184  
Total number of transactions: 255

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Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	<u>1,344,090.04</u>	<u>1,344,090.04</u>
Grand Totals:	<u>1,344,090.04</u>	<u>1,344,090.04</u>

Payroll ending 2/22/25 = \$227,649.43

**GRAND TOTAL: \$ 1,571,739.47**

**FUND LIST TOTALS FOR BILLS March 3, 2025**

<u>Account</u>	<u>Fund</u>	<u>Total Amount</u>
100	General	\$ 74,781.64
204	Road Use Tax Fund	\$ 12,536.91
205	Airport	\$ 10,449.65
208	Hote' / Motel	\$ 117,371.59
214	K9 Trust	\$ 34.99
232	Blue Program	\$ (21.99)
539	City Hall HVAC	\$ 114,570.00
543	Beach Street Improvements	\$ 11,766.50
601	Electric Utility	\$ 687,401.09
602	Water Utility	\$ 64,118.33
603	Sewer Fund	\$ 20,434.23
614	URD Conversion	\$ 209,954.75
621	Water Bond	\$ 19,044.00
902	Medical/Flex	\$ 1,648.35
	Claims Total	\$ 1,344,090.04
<b><u>PAYROLL</u></b>		
	Payroll Ending February 22, 2025	\$ 227,649.43
<hr/>		
	<b>Grand Total</b>	<b>\$ 1,571,739.47</b>

# NLC Service Line Warranty Program

by



Ashley Shiwarski  
Sr Director, Business Development  
[Ashley.Shiwarski@homeserveusa.com](mailto:Ashley.Shiwarski@homeserveusa.com)  
412-874-9454



# NLC Service Line Warranty Program by HomeServe



Offering services for over 20 years



4.8 out of 5 stars customer satisfaction



Program endorsed since 2010

*“The National League of Cities is proud to partner with this highly reputable and reliable program. Their exemplary record of customer service and transparency is what has driven the success of this partnership over the years.”*

*Clarence Anthony, Executive Director  
National League of Cities*



## HomeServe Key Statistics\*

- Over **4.8 million** customers
- Over **8.5 million** policies
- Over **1,300** municipal and utility partnerships
- Job serviced **every 34 seconds**
- Customer savings to date: **over \$2 Billion**

\* As of January 2023



# Aging Infrastructure

Challenging for cities and homeowners

## Lateral lines are subjected to the same elements as public lines

- Ground shifting, fluctuating temperatures, tree root penetration, corrosion, and more

## Out of sight, out of mind

- Water and sewer lines located outside, usually underground

## Failed lines waste thousands of gallons of water

- Presents a potential environmental hazard

## Common homeowner misconceptions

- City is responsible for maintenance of the water and sewer lines on their property
- Repairs are covered by their homeowner's policy



# Homeowners are unprepared for emergencies and expect solutions from the city/utility



**78% of homeowners** believe the utility provider should educate them on repairs and preventative measures. (Ipsos Public Affairs/HomeServe 2019)



**56% of Americans** can't cover a \$1,000 emergency expense with savings. (Bankrate 2022)



**60% of homeowners** with annual household incomes under \$50,000 a year reported having \$500 or less or no money set aside for a home repair emergency. (Harris Poll/HomeServe 2021)



# Solution for Cities and their Residents



## Residents

Optional low-cost protection against potentially expensive water, sewer, plumbing repairs



Educates residents about their responsibility for exterior lines



## Municipalities/Utilities



Reduces calls to the Municipality/Utility



Timely repairs reduce water loss from line breaks - use of local contractors infuses money into the local economy



Turnkey program - provides marketing, billing, claims, customer service



No cost for the municipality/utility to participate

Only Service Line Program endorsed by the National League of Cities and Iowa League of Cities



# NLC Service Line Warranty Program

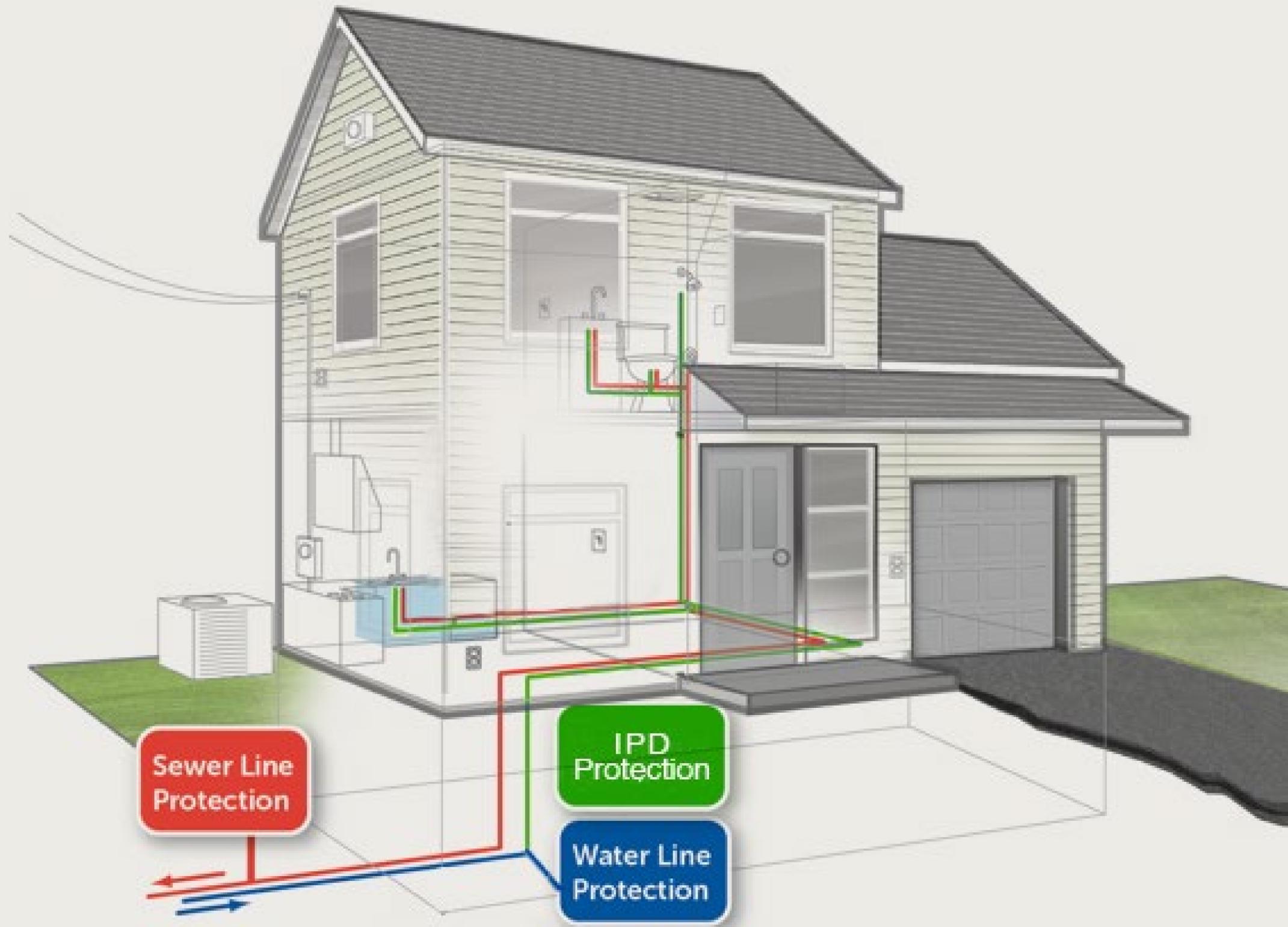
by



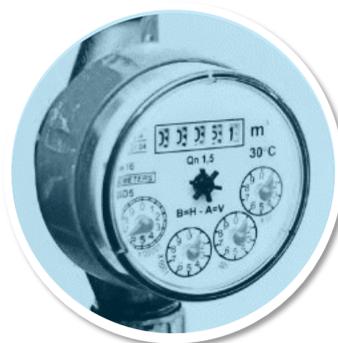
Endorsed by



CITIES STRONG TOGETHER



# Optional Homeowner Protection



## External Water Line

Up to \$8,500 per incident to repair/replace broken, cracked, or clogged exterior lines



## External Sewer Line

Up to \$8,500 per incident to repair/replace broken, cracked, or clogged exterior lines



## In-home Plumbing & Drain

Up to \$3,000 per incident on all water, sewer, and drain lines inside the home after point of entry



No annual or lifetime limits, deductibles, service fees, forms, or paperwork



No pre-inspection - 30 day waiting period



Homeowner opt in or out at any time - no penalty



Locally based, fully licensed and vetted contractors



Toll-free emergency number available 24 hours a day, 365 days a year



Guaranteed repairs

# Homeowner Education

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- No public funds used in marketing, distribution, or administration of the program
- Direct mail only – Limited to 3 mailing campaigns per year
- Partner must review and approve marketing material before each and every campaign
- Marketing clearly states city does not provide program and is voluntary for homeowner
- Easy enrollment options – consumer choice of mail, phone or web

## Revenue Share

---

- Non-tax revenue share for the City
- Cities utilize funds for important initiatives including:
  - ✓ Infrastructure improvements
  - ✓ Low-income assistance/community charities
  - ✓ Partially offset rate increases



# HomeServe in Iowa

## Key Statistics



138

municipal partners



69K

customers with 110K protection plans



38K

jobs completed in the State of Iowa



\$45M

savings for Iowa homeowners



Partner of the Iowa League of Cities



Affinity Partner of the Iowa Rural Water Association



# Over 1300 Partners, Including 138 in Iowa

- *Des Moines Water Works*
- *City of Iowa City*
- *Sioux City Water and Sewer*
- *City of Waterloo*
- *City of Council Bluffs*
- *City of Bettendorf*
- *City of Mason City*
- *City of Clinton*
- *City of Marshalltown*
- *City of Ottumwa*
- *Marshalltown Water Works*
- *Muscatine Power & Water*
- *City of Newton*
- *City of Indianola*
- *City of Fairfield*
- *City of Grinnell*
- *City of Norwalk*
- *City of Creston*
- *City of Decorah*
- *City of Red Oak*
- *City of Maquoketa*
- *City of Estherville*
- *City of Independence*
- *City of DeWitt*
- *City of Harlan*
- *City of Eldridge*
- *City of Cherokee*
- *City of Winterset*
- *City of Sheldon*
- *Osceola Water Works*
- *City of Iowa Falls*
- *City of Manchester*
- *City of Camanche*
- *Chariton Municipal Water*
- *City of Waukon*
- *City of Hampton*
- *City of Cresco*
- *City of Albia*
- *City of New Hampton*
- *City of Carlisle*
- *City of Sergeant Bluff*
- *City of Eagle Grove*
- *City of Tipton*
- *City of Rock Valley*
- *City of Clarion*
- *City of Polk City*
- *City of West Liberty*
- *City of Belle Plaine*
- *City of Grundy Center*
- *City of Solon*
- *City of Missouri Valley*
- *City of Eldora*
- *City of Hawarden*
- *City of Madrid*
- *City of Bloomfield*
- *City of Belmond*
- *City of Jesup*
- *City of Sac City*
- *City of La Porte City*
- *City of Princeton*
- *City of West Branch*
- *City of Monroe*
- *City of Colfax*
- *City of Alta*
- *City of Lake City*
- *City of Mount Ayr*
- *City of Dallas Center*
- *Woodbine Municipal Light and Power*
- *City of Reinbeck*
- *City of Mitchellville*
- *City of Oakland*
- *City of Prairie City*
- *City of Corydon*
- *City of Ely*
- *City of Ackley*
- *City of Avoca*
- *City of Manning*
- *City of Holstein*
- *City of Akron*
- *City of Earlham*
- *City of State Center*
- *City of Manly*
- *City of Sheffield*
- *City of Roland*
- *City of Lake Park*
- *City Of Aurelia*
- *City of St. Ansgar*
- *City of Panora*
- *City of Van Meter*
- *City of Allison*
- *City of Baxter*
- *City Of DeSoto*
- *City of Sidney*
- *City of Sloan*
- *City of Griswold*
- *City of Eldon*
- *City of Shellsburg*
- *City of Armstrong*
- *City of Palo*
- *City of Wayland*
- *City of Hinton*
- *City of Exira*
- *City of Hedrick*
- *City of Melbourne*
- *City of Dayton*
- *City of Whiting*
- *City of Stratford*
- *City of Walker*
- *City of Everly*
- *City of Early*
- *City of Gilmore City*
- *City of Riverdale*
- *City of Lime Springs*
- *City of Grand Mound*
- *City of Richland*
- *City of Rolfe*
- *City of Badger*
- *City of Garwin*
- *City of Lewis*
- *City of Stacyville*
- *City of Lovilia*
- *City of Farragut*
- *City of Birmingham*
- *City of Mystic*
- *City of Lohrville*
- *City of Thornton*
- *City of Union*
- *City of Plymouth*
- *City of Salix*
- *City of Rhodes*
- *City of McCausland*
- *City of Leland*
- *City of Holland*
- *City of Frederika*
- *City of Woolstock*
- *City of Swaledale*
- *City of Carson*
- *City of Adel*



**NLC Service Line  
Warranty Program**



# Questions?

For more information contact:

**Ashley Shiwarski**

**Sr. Director, Business Development**

**[Ashley.Shiwarski@homeserveusa.com](mailto:Ashley.Shiwarski@homeserveusa.com)**

**412-874-9454**



**RECOMMENDATION:** It is recommended that Mayor and City Council authorize the Administration, or their designee, to enter into the royalty Marketing agreement with Utility Service Partners, Inc. (USP) for an initial term of three (3) years, subject to City Attorney review with an additional (1) year renewal.

**BACKGROUND:** The National League of Cities (NLC) Service Line Warranty Program, offered by Utility Service Partners, a HomeServe Company, was conceived in partnership with the National League of Cities to educate property owners about their service line responsibilities and to help residents avoid the out-of-pocket expense for unanticipated and potentially costly service line repairs and replacements. Our program, the only one of its kind endorsed by the NLC and the Iowa League of Cities and, will help Webster City achieve its goals by:

- Providing homeowners affordable protection against significant and unexpected costs to remedy leaking/broken/ clogged water lines, sewer lines, and in-home plumbing lines.
- Ensuring the delivery of timely, high-quality repair services in adherence to all applicable codes
- Providing exemplary service that reflects positively on the City.
- The program generates an ongoing, sustainable source of revenue for partner municipalities and stimulates the local economy by using fully vetted local contractors to complete the repairs.
- The City will receive a royalty 10% of the premiums collected.

**COVERAGE:** NLC Service Line Warranty Program offers three complete and separate voluntary programs. There is never a service fee/deductible or annual or lifetime limit. Residents can cancel the warranties at any time.

**Exterior Water Service Line:** Includes service to locate, excavate and repair/replace a leaking exterior water service line. Covered repairs include, but are not limited to leaks, breaks, corrosion, blockages, root intrusion, and other types of damage (such as from freezing) that impair or limit the intended function of the system. Includes thawing of frozen water lines. Includes restoration of ground surface features after excavation for service line repair, including filling, raking, reseeding, reinstallation of existing soft landscaping and shrubbery, and patching of paved surfaces.

**Exterior Sewer Service Line:** Includes services to locate, excavate and repair/replace a leaking exterior sewer service line. Covered repairs include, but are not limited to leaks, breaks, corrosion, blockages (due to fats, oils and grease), root intrusion, and other types of damage (such as from freezing) that impair or limit the intended function of the system. Includes restoration of ground surface features after excavation for service line repair, including filling, raking, reseeding, reinstallation of existing soft landscaping and shrubbery, and patching of paved surfaces.

**Internal Plumbing and Drainage:** Coverage includes the emergency breakdown costs of repairing or replacing interior water, sewer, and drainage pipe materials, valves and other plumbing-related material, including unblocking, repair and replacement. Repair of clogged toilets.

Product	Monthly	Annual Coverage Limit	Annual Service Calls/Per Call Coverage	Royalty for the City
External Water Line	\$7.99	Unlimited	Unlimited Calls \$8,500 Per Call	10% of the premiums collected
External Sewer Line	\$12.99	Unlimited	Unlimited Calls \$8,500 Per Call	10% of the premiums collected
In-Home Plumbing	\$12.99	Unlimited	Unlimited Calls \$3,000 Per Call	10% of the premiums collected

**IMPLEMENTATION:** The NLC Service Line Program will utilize the City logo to brand the materials used to educate City residents/customers about our repair service plans. Program marketing literature clearly discloses that the Program and the City are separate entities and that the program is voluntary for residents. The NLC Service Line Warranty Program will create all marketing materials with input from the City and will submit all marketing/communications materials to the City for final approval.

**ENROLLMENT AND BILLING:** The NLC Service Line Program offers residents simple options if they choose to enroll either via mail, phone, or web. We handle all customer billing and residents can choose annual, quarterly, or monthly billing and may pay by check, direct debit/ACH, or credit card. Once we receive the enrollment application, customers receive a welcome letter which includes their service agreement terms and conditions, their payment details, a reiteration of their policy coverage, and our toll-free customer service number. Customers also receive a welcome call from customer service as an additional, personalized confirmation of the program. We handle all customer billing, and a homeowner can enroll or cancel at any time.

**FINANCIAL IMPACT:** No cost to the City to participate and the City would receive 10% of the premiums collected, paid annually.



## MARKETING AGREEMENT

This MARKETING AGREEMENT (“**Agreement**”) is entered into and made effective as of \_\_\_\_\_, (“**Effective Date**”), by and between the City of Webster City, Iowa (“**City**”), and Utility Service Partners Private Label, Inc. d/b/a Service Line Warranties of America (“**SLWA**,” and together with City, the “**Parties**,” and each, a “**Party**”).

**WHEREAS**, individual residential property owners (“**Customer(s)**”) residing in the City own and are responsible for sewer and water lines between the mainlines and the connection on their property;

**WHEREAS**, City desires to announce to Customers the opportunity, but not the obligation, to purchase plans as set forth in Exhibit A or as otherwise mutually agreed by the Parties in writing (including by email) (“**Plan(s)**”) to repair such lines; and

**WHEREAS**, SLWA, a subsidiary of HomeServe USA Corp. (“**HomeServe**”), is the administrator of the National League of Cities (“**NLC**”) Service Line Warranty Program.

**NOW, THEREFORE**, in consideration of the foregoing recitals, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, and with the intent to be legally bound hereby, the Parties agree as follows:

1. **Purpose.** City grants to SLWA the right to offer and market service Plans subject to the terms and conditions of this Agreement.

2. **City Obligations.**

A. **Grant of License.** City grants to SLWA a license (“**License**”) to use City’s designated names, symbols, trademarks, service marks, logotypes, trade names and insignias owned by City or its affiliates (“**Marks**”), which may include the use of City’s logo and name in advertising (including on SLWA’s websites or social media sites), in signature lines, and in marketing materials to be sent to Customers, all at SLWA’s sole cost and subject to City’s prior review and approval, which will not be unreasonably conditioned, delayed, denied, or withheld. SLWA’s use of the Marks in accordance with this Agreement will not infringe any other party’s rights. In consideration of the payment of all fees identified in Exhibit A, and SLWA’s marketing activities, City shall not advertise, promote, administer, offer, or sell, directly or indirectly, any plans that are the same as, or substantially similar to, the Plans during the Term. In the event that City extends a similar license to a competitor of SLWA during the Term, City shall provide thirty (30) days’ written notice prior to such grant of license and SLWA may immediately terminate this Agreement.

B. **Data.**

i. If City elects to do so, City may provide SLWA with “zip code” data for Customers in an agreed-upon format. If City further elects to do so, City may also provide a list of the name, service address, postal address (if different), residential telephone number, and, if available, email address of Customers and any other appropriate or necessary data (“**Customer Data**”) to SLWA, or to a third party if and as directed by SLWA in writing, for use by SLWA in furtherance of the marketing and sale of the Plans. If provided by City, Customer Data will be provided to SLWA quarterly or more frequently during the Term and in a mutually agreed electronic format. If provided by City to SLWA, Customer Data shall remain City’s property and Confidential Information (defined below), and SLWA will only use Customer Data as permitted by this Agreement. SLWA may obtain Customer Data from a third-party in furtherance of the marketing and sale of the Plans. In the event SLWA obtains Customer Data from a third-party, it shall become and remain SLWA’s property and Confidential Information. “**Member**” means those Customers that purchase and are successfully enrolled in a Plan by SLWA. Each Member’s name, address, phone number, email address and any other information that SLWA collects from a Member, is SLWA’s property and Confidential Information.

ii. **Data Processing Addendum.** In the event that City provides Customer Data to SLWA, the Parties shall abide by all of the requirements and obligations set forth in that certain Data Processing Addendum, which can be accessed and viewed at: <https://www.homeserve.com/sc/legal/HomeServeDataPrivacyAddendum> (the “**DPA**”), which is incorporated herein

by reference, for purposes of compliance with all Data Protection Laws (as defined in the DPA). In the event of any inconsistency between the provisions in this Agreement and those contained in the DPA, the DPA shall control.

3. **Term; Termination.** The term of this Agreement shall be for the number of years in Exhibit A commencing with the Effective Date (“**Initial Term**”). The Agreement will automatically renew for additional one (1) year terms, unless one of the Parties gives the other written notice at least ninety (90) days prior to the end of the then current term (each a “**Renewal Term**” and collectively with the Initial Term, the “**Term**”) that the Party does not intend to renew this Agreement. In the event that SLWA is in material breach of this Agreement, City may terminate this Agreement thirty (30) days after giving written notice to SLWA of such breach, (i) if said breach is not cured during said thirty (30) day period, or, (ii) if such breach is incapable of being cured in such period, SLWA has failed to take during such period substantive steps to cure such breach. Either Party may terminate this Agreement without cause upon thirty (30) days’ prior written notice to the other Party. SLWA will be permitted to complete any marketing initiative initiated prior to termination of this Agreement after which time, neither Party will have any further obligations to the other and this Agreement will terminate.

4. **Consideration.** SLWA shall pay City a fee based on the success of the marketing efforts using the Marks subject to the License as described herein (“**License Fee**”), as set forth in Exhibit A. The first payment of the License Fee shall be due by January 30th of the year immediately following the Effective Date. Subsequent payments shall be made on an annual basis throughout the Term, due and payable on January 30th of each succeeding year.

5. **Applicable Laws.** Each Party shall comply at all times with all applicable laws, statutes, treaties, rules, codes, ordinances, regulations, permits, official guidelines, judgements, orders and interpretations, as well as licensing or registration requirements (“**Applicable Laws**”) with respect to its obligations under this Agreement. For any Customer Data provided by City to SLWA, City warrants, represents and covenants that Customer Data has been and will be collected in compliance with all Applicable Laws. City is permitted by Applicable Laws and privacy policies to provide Customer Data to SLWA and to permit SLWA to use such data as contemplated by this Agreement.

6. **Confidentiality.** “**Confidential Information**” of a Party means any non-public, proprietary, or confidential information, whether or not it constitutes a trade secret under Applicable Laws, and any other information that a reasonable person would expect to be confidential. Each Party will treat Confidential Information received from the other Party as confidential, and such Party shall not disclose or use such information in a manner contrary to the purposes of this Agreement. Notwithstanding the foregoing, a Party shall not be liable to the other Party for any disclosure of Confidential Information that is required under any Applicable Laws, applicable public records act or under court order. To the extent legally permissible, a Party shall provide written notice to the other Party prior to any such disclosure.

7. **Ruling and/or Code Change.** In the event that: (i) a change or proposed change in Applicable Laws, or municipal or similar codes; or (ii) an interpretation, policy, ruling, or order by any court, tribunal, arbitrator, regulatory agency, commission, including a public service commission or similar body of a City, or other instrumentality of the United States, or any state, county, City, or other political subdivision; negatively or potentially negatively impacts the terms of this Agreement or the obligations of the Parties set forth in this Agreement, the Parties shall negotiate in good faith to modify the terms of this Agreement accordingly. Should the Parties be unable to reach a mutual agreement to revise this Agreement, then either Party may terminate this Agreement on thirty (30) days’ written notice to the other Party.

8. **Indemnification.** Each Party (the “**Indemnifying Party**”) hereby agrees to indemnify, defend and hold the other Party and its directors, managers, members, officers, employees, contractors, subcontractors, and agents, and in the case of City, also its elected officials (“**Representatives**”) (collectively or individually, “**Indemnitee**”) harmless from and against any and all third party claims, damages, losses, expenses, suits, actions, decrees, judgments, awards, reasonable attorneys' fees and court costs (“**Claim(s)**”), which an Indemnitee may suffer or which may be sought against or are recovered or obtainable from an Indemnitee, as a result of or arising out of any breach of this Agreement by the Indemnifying Party, or any negligent or fraudulent act, intentional misconduct, or omission of the Indemnifying Party or its Representatives in the performance of this Agreement; provided that the applicable Indemnitee notifies the Indemnifying Party of any such Claim within a time that does not prejudice the ability of the Indemnifying Party to defend against such Claim. Any Indemnitee under this Agreement may participate in its own defense, but will be responsible for all costs incurred, including reasonable attorneys' fees, in connection with such participation.

9. **Independent Contractor Status.** The obligations performed by each Party in this Agreement shall be executed as an independent contractor. SLWA shall have responsibility for and control over the details and means for providing the Plans under this Agreement. Neither Party nor any of its Representatives shall be considered an employee, representative, agent or subcontractor of the other Party or its Representatives.

10. **Anti-Bribery and Corruption.**

A. Each Party warrants to the other that:

- i. it has not offered, promised, given, accepted, or agreed to give or accept, and shall not during the Term offer, promise, give, accept, or agree to give to or accept from any person any bribe on behalf of the other Party or otherwise with the object of obtaining a business advantage for the other Party or otherwise;
- ii. it will not engage in any activity or practice which would constitute an offense under any applicable anti-bribery and corruption laws, including but not limited to the United States Foreign Corrupt Practices Act of 1977, the United Kingdom's Bribery Act 2010 and Canada's Corruption of Public Officials Act, and it will notify the other Party as soon as practicable of any offense of the foregoing acts in connection with this Agreement, or any breach of the undertakings contained in this section of which it becomes aware;
- iii. it has in place, and during the Term will maintain, its own policies, procedures, and internal controls, including accounting procedures to record expenditures in connection with this Agreement, necessary to ensure compliance with any applicable anti-bribery and corruption laws;
- iv. it will ensure that any person who performs or has performed services for or on its behalf ("**Associated Person**") complies with this section, it will not enter into an agreement with any Associated Person in connection with this Agreement unless such agreement contains terms substantially similar to those contained in this section, and it shall be responsible for any breach of such terms, or these terms, by any Associated Person that is a subcontractor of the Party hereunder;
- v. from time to time during the Term, at the reasonable request of the other Party, it will confirm in writing that it has complied with the terms of this section and will provide any information reasonably requested by the other Party to demonstrate such compliance; and
- vi. in the case of City, it will abide the "Reporting Hotline" section of SLWA's Business Partner Code of Conduct (described in "Business Partner Code of Conduct" section) to report to SLWA any request or demand for any improper payments or other improper advantage of any kind in connection with the performance of this Agreement.

11. **Records; Audit.** Each Party shall, at all times during the Term and for a period of seven (7) years after the termination or expiration of this Agreement, maintain complete and accurate records, together with supporting or underlying documents and materials, kept and maintained by such Party, its Representatives to substantiate such Party's compliance with its obligations and responsibilities under this Agreement. Up to once per year of the Term, each Party shall have the right, upon at least ten (10) days' prior written notice and during normal business hours, at its sole cost and expense, to audit and inspect, on its own or through a Representative, the other Party's records for the purpose of confirming such other Party's compliance with the terms of this Agreement.

12. **Notice.** Any notice required to be given under this Agreement shall be deemed to have been received when delivered (i) by personal service, (ii) by electronic mail with confirmation of delivery and receipt (provided a hard copy is sent promptly by regular mail), or (iii) by registered or certified mail, return receipt requested, with the United States Postal Service, addressed as follows:

**To:** City:  
City of Webster City  
ATTN: John Harrenstein  
PO Box 217  
Webster City, IA 50595-0217  
email: jharrenstein@webstercity.com  
Phone: (515) 832-9151

**To:** SLWA:  
Utility Service Partners Private Label, Inc.  
601 Merritt 7, 6th Floor  
Norwalk, CT 06851  
Attention: Michael Backus, Chief Growth Officer  
email: [michael.backus@homeserveusa.com](mailto:michael.backus@homeserveusa.com)  
Phone: (203) 840-8276

With a copy to:  
Legal Department  
email: [legal@homeserveusa.com](mailto:legal@homeserveusa.com)

13. **Entire Agreement; No Third-Party Beneficiaries; Severability.** The Parties acknowledge that no representations, agreements, or promises were made by the other Party or by any of its Representatives other than those specifically contained in this Agreement. This Agreement, including the recitals as well as any attachments or exhibits, constitutes the entire agreement of the Parties with respect to the matters contemplated in this Agreement, and supersedes any prior agreement or understanding with respect to them. The Parties agree that this Agreement was entered into solely for the respective benefit of each of them and their respective successors and assigns, and nothing in this Agreement is intended to create any third-party beneficiaries. This Agreement may be amended or modified only by a written instrument executed by an authorized representative of each of the Parties. No term or provision hereof shall be deemed waived and no breach excused unless such waiver or consent is in writing and signed by the Party claimed to have waived or consented. Subject to Applicable Laws, the invalidity or unenforceability of a specific provision in the Agreement shall not render any other provision(s) invalid, inoperative, or unenforceable.

14. **Assignment.** Neither Party may assign or transfer any of its rights under this Agreement without the prior written consent of the other Party, which consent shall not be unreasonably delayed, withheld, conditioned, or denied, except to an affiliate of the assigning Party or an acquirer of all or substantially all of the assets of the assigning Party. Any purported assignment or delegation in violation of this section shall be null and void. No assignment or transfer of this Agreement shall relieve the assigning Party of any of its obligations under this Agreement. This Agreement shall be binding upon and shall inure to the benefit of the Parties as well as their respective successors or permitted assigns.

15. **Counterparts; Electronic Delivery.** This Agreement may be executed in counterparts delivered by email, DocuSign, or other electronic transmission; such counterparts will be deemed originals and binding upon the Parties upon receipt, regardless of whether originals are delivered thereafter. All such counterparts will constitute one and the same contract, and the signature of any Party to any counterpart will be deemed a signature to any other counterpart.

16. **Governing Law; Venue; Waiver of Jury Trial.** The Parties shall comply with all Applicable Laws with respect to their respective obligations under this Agreement. This Agreement is governed by and shall be construed in accordance with the laws of Iowa, without regard to the choice of law principles of the forum state. Any action at law, suit in equity, or other proceeding against any Party with respect to this Agreement or in connection with any of the matters contemplated by this Agreement shall be brought and maintained exclusively in the state or federal courts located in Iowa, as applicable. THE PARTIES HEREBY KNOWINGLY, VOLUNTARILY, AND INTENTIONALLY WAIVE ANY RIGHT THAT MAY EXIST TO HAVE A TRIAL BY JURY IN RESPECT OF ANY LITIGATION BASED UPON OR ARISING OUT OF, UNDER, OR IN ANY WAY CONNECTED WITH, THIS AGREEMENT.

17. **Business Partner Code of Conduct.** SLWA and City are committed to conducting their business activities with the highest standards of honesty and integrity. City acknowledges that it has received and reviewed SLWA's Business Partner Code of Conduct (available at <https://www.homeserveusa.com/sc/cobc>) as updated from time to time, and City agrees to abide by SLWA's Business Partner Code of Conduct as a material condition of this Agreement. Should City suspect or become aware of any actual or suspected violation of SLWA's Business Partner Code of Conduct, City shall promptly notify SLWA or its anonymous ethics hotline (*see* SLWA's Business Partner Code of Conduct).

**IN WITNESS WHEREOF**, the Parties hereto have executed this Agreement as of the Effective Date.

**CITY OF WEBSTER CITY**

**UTILITY SERVICE PARTNERS  
PRIVATE LABEL, INC.**

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: Michael Backus

Title: \_\_\_\_\_

Title: Chief Growth Officer

## **Exhibit A**

### Marketing Agreement

#### City of Webster City Term Sheet

- I. **Initial Term.** Three (3) Years, with the option for Renewal Term(s).
- II. **License Fee.** Ten percent (10%) of the fees actually received from Members during the Term under any Plans sold under the Agreement, **net** of any discount, rebates, refunds, chargebacks, credits, and sales or similar taxes incurred or paid by SLWA in connection with such Plans.
- III. **License Conditions.** Use of City's Marks in accordance with Section 2.A of the Agreement.
- IV. **Plans; Plan Fees; Scope of Coverage.** The summary of coverage is accurate as of the Effective Date but is subject to change at SLWA's sole discretion. SLWA will offer the following rates to Customers:
- A. Exterior water service line plan (initially, \$ 7.99 per month)
    - i. Covers Customers' responsibility: From the main to the water meter or main shut-off valve inside the home.
    - ii. Covers thawing of frozen external water lines.
    - iii. Covers well service lines if applicable: From the external wall of Customers' well casing to the external foundation wall of the home.
    - iv. Covers non-functioning stop boxes or shut off valves that are part of the Property Owner's lines.
    - v. Coverage Cap: Unlimited number of calls/\$8,500 per call/unlimited annual maximum.
  - B. Exterior sewer/septic line plan (initially, \$ 12.99 per month)
    - i. Covers Customers' responsibility: From the external wall of the home to the sewer main.
    - ii. Covers septic lines if applicable: From the external foundation wall of the home to the point of connection to the septic tank of the home.
    - iii. Coverage Cap: Unlimited number of calls/\$8,500 per call/unlimited annual maximum.
  - C. Interior plumbing and drainage plan (initially, \$ 12.99 per month)
    - i. Covers repair or replacement of the following inside the home, for which the Customers have sole responsibility, that is damaged due to normal wear and tear:
      - a. The blocked or leaking interior water supply and drainage system pipes that carry fresh or drinkable water and wastewater.
    - ii. Coverage Cap: Unlimited number of calls/\$3,000 per call/unlimited annual maximum.
- Pricing does not include taxes. SLWA may adjust the Plan fees; provided, that, any such adjustment shall not exceed one dollar (\$1.00) per month per Plan in any twelve (12) month period. If such adjustment shall exceed one dollar (\$1.00), both Parties must agree in writing.
- V. **Marketing Campaigns.** SLWA shall have the right to conduct up to six (6) campaigns per year through such channels as may be mutually agreed by the Parties.



## AGENDA STATEMENT

**TO:** Mayor and City Council

**FROM:** Brandon Bahrenfuss, Street Department Supervisor  
John Harrenstein, City Manager

**DATE:** March 3, 2025

**RE:** Adopt a Resolution Providing for Notice Hearing on Proposed Plans and Specifications and proposed Form of Contract and Estimate of Cost for the Beach Street PCC Rehabilitation Project

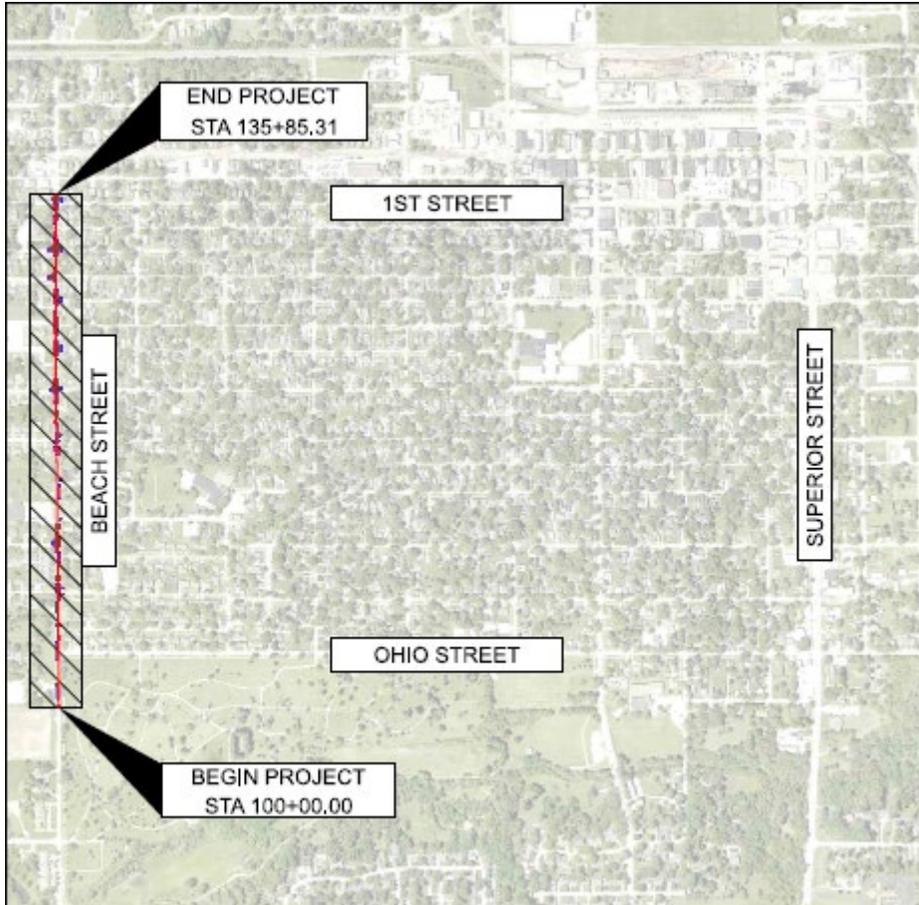
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**SUMMARY:** The Beach Street PCC Rehabilitation Project plans and specifications are complete and ready to be advertised for letting purposes. The improvement is located on Beach Street, from Second Street south .7 miles to 400 feet south of Ohio Street. The City Council is requested to set a public hearing to consider the Proposed Plans and Specifications and proposed form of Contract and Estimate of Cost for the Construction of the Project. Hearing is requested for April 7, 2025 at 6:05 P.M.

**PREVIOUS COUNCIL ACTION:** The Council approved agreement with Snyder and Associates to provide On-Call Paving Specialist Services on February 6, 2017. This was part of the 2024-2025 Capital Improvement Plan brought to Council on April 15, 2024. Amendment No. 33 was passed by council on June 17, 2024. This resolution gave Street Department Supervisor authorization to work with Snyder and Associates to provide professional services needed for the Beach Street PCC Rehabilitation Project.

**BACKGROUND/DISCUSSION:** The rehabilitation and maintenance of various local roads is critical to ensuring a healthy circulation of vehicles throughout the City. Local roads serve as transportation modes for multiple types of vehicles to move throughout the City. Beach Street is one of Webster City's most highly traveled roadways that sees everything from heavy truck traffic to local high school traffic.

This project will consist of full depth PCC patching (5,251 SY full depth patch work), .7 miles of crack and joint cleaning and filling, 456 SY of sidewalk replacement, pavement markings, along with storm sewer intake improvements, and manhole adjustments. ADA ramp compliance improvements are included as required by federal regulations. This project is required to be bid through the IDOT and follow their bid procedures.



**Schedule for the project is as follows:**

Concept Statement to IDOT	June 18, 2024
City Council Approve Contract	June 17, 2024
Kickoff PMT Meeting	July 9, 2024
Complete Preliminary Survey	July 12, 2024
Preliminary Design and Plans Submit to City	August 7, 2024
PMT Meeting (Review TCE's, ped ramps, detour, cost est)	August 7, 2024
Public Information Meeting	August 21, 2024
Submit Preliminary Plans to IDOT	September 17, 2024
Categorical Exclusion obtained from IDOT	November 5, 2024
Submit Check Plans to IDOT	November 5, 2024
Revise Cost Estimate in STP (as needed)	November 5, 2024
Check Plan comments from the IDOT	November 26, 2024
Temporary Easements obtained (as needed)	December 17, 2024
Submit Final Plans to IDOT	December 17, 2024
City Council Sets Public Hearing	March 3, 2025
IDOT Bid Letting	March 18, 2025
Memo-Engineer Letter of Recommendation	March 21, 2025
City Council Reviews Bids / Contract Award / Hearing	April 7, 2025



Preconstruction Meeting  
Early Start Construction  
Late Start Construction  
End Construction

April/May 2025  
May 5, 2025  
July 29, 2025  
October 31, 2025

**FINANCIAL IMPLICATIONS:** The Agreement shows the updated funding from the STBG Federal-aid Swap in the amount of \$966,500.00 with \$250,000.00 provided by the City of Webster City, Iowa (80/20 match).

**RECOMMENDATION:** Staff recommends the City Council adopt a resolution setting April 7, 2025 at 6:05 p.m. in Council Chambers at City Hall for a public hearing on proposed plans and specifications and proposed form of contract and estimate of cost for the construction of the Beach Street Rehabilitation Project.

**RESOLUTION NO. 2025 -**

**RESOLUTION PROVIDING FOR NOTICE OF HEARING ON PROPOSED PLANS AND SPECIFICATIONS  
AND PROPOSED FORM OF CONTRACT AND ESTIMATE OF COST  
FOR THE CONSTRUCTION OF THE BEACH STREET PCC REHABILITATION PROJECT**

**WHEREAS**, the City of Webster City is ready to set the hearing on proposed plans and specifications and proposed form of contract and estimate of cost for the Beach Street PCC Rehabilitation Project

**WHEREAS**, the City of Webster City has proposed the project schedule;

City Council Sets Public Hearing	March 3, 2025
IDOT Bid Letting	March 18, 2025
Memo-Engineer Letter of Recommendation	March 21, 2025
City Council Reviews Bids / Contract Award / Hearing	April 7, 2025
Preconstruction Meeting	April/May 2025
Early Start Construction	May 5, 2025
Late Start Construction	July 29, 2025
End Construction	October 31, 2025

**NOW THEREFORE BE IT RESOLVED** by the City Council of the City of Webster City, Iowa

**SECTION 1:** Adopt a Resolution Providing for Notice Hearing on Proposed Plans and Specifications and proposed Form of Contract and Estimate of Cost for the Construction of the Beach Street Rehabilitation Project for April 7, 2025 at 6:05 p.m.

Passed and adopted this 3rd day of March, 2025.

\_\_\_\_\_  
John Hawkins, Mayor

ATTEST:

\_\_\_\_\_  
Sherry Simmons, Deputy City Clerk

**NOTICE OF HEARING**

**NOTICE OF PUBLIC HEARING ON PROPOSED PLANS, SPECIFICATIONS, FORM OF CONTRACT, AND ESTIMATE OF COST FOR THE CITY OF WEBSTER CITY.**

Public Notice is hereby given that at **6:05 P.M.** on the **7th day of April, 2025**, the **City Council of the City of Webster City, Iowa** will, in the **Webster City Council Chambers, City Hall at 400 Second Street, Webster City, IA**, hold a hearing whereat said **Council** will resolve to adopt plans, specifications, form of contract and estimate of cost for the construction of the **BEACH STREET PCC REHABILITATION PROJECT** and, at the time, date and place specified above, or at such time, date and place as then may be fixed, to act upon proposals and enter into contract for the construction of said improvements. This meeting may be viewed live on the City Facebook page <https://www.facebook.com/cityofwebstercity/>.

General Nature of the Public Improvement

**BEACH STREET PCC REHABILITATION PROJECT**

The **BEACH STREET PCC REHABILITATION PROJECT** is located on Beach Street, from Second Street south 0.7 miles to 400 feet south of Ohio Street. The project includes approximately 5,251 SY patches, full-depth finish, by area; 46 each patches, full-depth, by count; 266 each CD joint assembly; 5,251 SY subbase (patches); 0.7 mile crack and joint cleaning and filling (PCC pavement); 20,000 LB sealer material (PCC pavement); 6 each intake, RA-3, throat only; 2 each intake, RA-3, top only; 4 each intake, RA-6, top and throat only; 4.92 stations painted pavement markings, waterborne or solvent-based; 159 SY sidewalk, P.C. concrete, 4 in.; 456 SY sidewalk, P.C. concrete, 6 in.; 571 SY removal of sidewalk; 480 SF detectable warnings; traffic control; 28 each safety closure; seeding and fertilizing and various related removals and improvements.

At said hearing, the **City Council** will consider the proposed plans, specifications, form of contract and estimate of cost for said project, the same now being on file in the **Office of the City Clerk of the City of Webster City, Iowa at City Hall**, reference to which is made for a more detailed and complete description of the proposed improvements, and at said time and place the said Council will also receive and consider any comments/objections to said plans, specifications and form of contract or to the estimated cost of said improvements made by any interested party.

This Notice is given by authority of the City Council of the City of Webster City, Iowa.

Dated at Webster City, Iowa, this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
John Hawkins, Mayor

ATTEST:

\_\_\_\_\_  
Sherry Simmons, Deputy City Clerk

Published in the FREEMAN JOURNAL on the \_\_\_\_ day of \_\_\_\_\_, 2025.



**CONTRACTS AND SPECIFICATIONS BUREAU  
Proposal**

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**Proposal ID:** 40-8212-618                      **Letting Date:** March 18, 2025  
**Call Order:** 207  
**Proposal Work Type:** PCC PATCHING  
**DBE Goal:** 0.0%  
**Contracting Authority:** CITY OF WEBSTER CITY  
**Proposal Guaranty:** \$62,500.00

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**This proposal includes the following project(s):**

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<b>Project Number:</b> STBG-SWAP-8212(618)--SG-40	<b>County:</b> HAMILTON
<b>Project Work Type:</b> PCC PATCHING	<b>Route:</b> BEACH ST
<b>Location:</b> In the city of Webster City, On Beach Street, from Second Street S .7 miles to 400' South of Ohio Street	
<b>Road System:</b> URBAN	
<b>Federal Aid - Wages:</b> Non-Federal Aid - Predetermined Wages are not in Effect	

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**Contracts and Specifications Bureau**

**Contract Time**

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**Proposal ID:** 40-8212-618

**Call Order:** 207

**Letting Date:** March 18, 2025

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Site ID	Site Details			Liquidated Damages
00	Late Start Date	04/28/2025	90 WORK DAYS	\$1,000.00

(\*) - Indicates Cost Plus Time Site. See Schedule of Items for Cost Per Unit

**Notes**

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**Proposal ID:** 40-8212-618

**Call Order:** 207

**Letting Date:** March 18, 2025

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**Notes :**

There are no notes for this proposal.

## Contracts and Specifications Bureau

## Proposal Specifications List

Proposal ID: 40-8212-618

Call Order: 207

Letting Date: March 18, 2025

Note	Description
001.2023	*** STANDARD SPECIFICATIONS -- SERIES 2023 *** The Iowa Department of Transportation STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, SERIES 2023, plus applicable General Supplemental Specifications, Developmental Specifications, Supplemental Specifications AND Special Provisions shall apply to construction work on this contract.
500.01	*** WINTER WORK *** The free time allowed between November 15 and April 1 will not be permitted on this project. The Contractor shall work during the winter on all working days as defined in Article 1101.03 'Working Day'.
GS-23003	GENERAL SUPPLEMENTAL SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION



**Contracts and Specifications Bureau**

**Proposal Schedule of Items**

**Proposal ID:** 40-8212-618

**Call Order:** 207

**Letting Date:** March 18, 2025

**SECTION: 0001  
ROADWAY ITEMS**

Proposal Line Number	Item Number Item Description	Item Quantity and Units	Unit Price		Bid Amount	
			Dollars	Cents	Dollars	Cents
0010	2105-8425005 TOPSOIL, FURNISH AND SPREAD	30.000 CY	_____	_____	_____	_____
0020	2301-6911722 PORTLAND CEMENT CONCRETE PAVEMENT SAMPLES	LUMP SUM	LUMP SUM		_____	_____
0030	2435-0600010 MANHOLE ADJUSTMENT, MINOR	17.000 EACH	_____	_____	_____	_____
0040	2510-6745850 REMOVAL OF PAVEMENT	14.000 SY	_____	_____	_____	_____
0050	2511-6745900 REMOVAL OF SIDEWALK	571.000 SY	_____	_____	_____	_____
0060	2511-7526004 SIDEWALK, P.C. CONCRETE, 4 IN.	159.000 SY	_____	_____	_____	_____
0070	2511-7526006 SIDEWALK, P.C. CONCRETE, 6 IN.	456.000 SY	_____	_____	_____	_____
0080	2511-7528101 DETECTABLE WARNINGS	480.000 SF	_____	_____	_____	_____
0090	2512-1725256 CURB AND GUTTER, P.C. CONCRETE, 2.5 FT.	49.000 LF	_____	_____	_____	_____
0100	2514-0000200 REMOVAL OF CURB	0.700 STA	_____	_____	_____	_____
0110	2527-9263209 PAINTED PAVEMENT MARKINGS, WATERBORNE OR SOLVENT-BASED	4.920 STA	_____	_____	_____	_____
0120	2528-2518000 SAFETY CLOSURE	28.000 EACH	_____	_____	_____	_____





**Contracts and Specifications Bureau**

**Proposal Schedule of Items**

**Proposal ID:** 40-8212-618

**Call Order:** 207

**Letting Date:** March 18, 2025

**SECTION: 0001  
ROADWAY ITEMS**

Proposal Line Number	Item Number Item Description	Item Quantity and Units	Unit Price		Bid Amount	
			Dollars	Cents	Dollars	Cents
0130	2528-8445110 TRAFFIC CONTROL	LUMP SUM	LUMP SUM		_____	_____
0140	2529-2242304 CD JOINT ASSEMBLY	266.000 EACH	_____	_____	_____	_____
0150	2529-5070110 PATCHES, FULL-DEPTH FINISH, BY AREA	5,251.000 SY	_____	_____	_____	_____
0160	2529-5070120 PATCHES, FULL-DEPTH FINISH, BY COUNT	46.000 EACH	_____	_____	_____	_____
0170	2529-8174010 SUBBASE (PATCHES)	5,251.000 SY	_____	_____	_____	_____
0180	2533-4980005 MOBILIZATION	LUMP SUM	LUMP SUM		_____	_____
0190	2542-1006001 CRACK AND JOINT CLEANING AND FILLING (PCC PAVEMENT)	0.700 MILE	_____	_____	_____	_____
0200	2542-1007000 SEALER MATERIAL (PCC PAVEMENT)	20,000.000 LB		1.00000		20,000.00
0210	2599-9999005 (‘EACH’ ITEM) INTAKE, RA-3, THROAT ONLY	6.000 EACH	_____	_____	_____	_____
0220	2599-9999005 (‘EACH’ ITEM) INTAKE, RA-3, TOP ONLY	2.000 EACH	_____	_____	_____	_____
0230	2599-9999005 (‘EACH’ ITEM) INTAKE, RA-6, TOP AND THROAT ONLY	4.000 EACH	_____	_____	_____	_____

**Contracts and Specifications Bureau**

**Proposal Schedule of Items**

**Proposal ID:** 40-8212-618

**Call Order:** 207

**Letting Date:** March 18, 2025

**SECTION: 0001  
ROADWAY ITEMS**

Proposal Line Number	Item Number Item Description	Item Quantity and Units	Unit Price		Bid Amount	
			Dollars	Cents	Dollars	Cents
0240	2599-9999010 ('LUMP SUM' ITEM) REMOVE AND STOCKPILE LANDSCAPING BRICK	LUMP SUM	LUMP SUM		_____.	
0250	2601-2636044 SEEDING AND FERTILIZING (URBAN)	0.800 ACRE	_____.		_____.	
0260	2602-0000500 OPEN-THROAT CURB INTAKE SEDIMENT FILTER, EC-602	156.000 LF	_____.		_____.	
0270	2602-0000510 MAINTENANCE OF OPEN-THROAT CURB INTAKE SEDIMENT FILTER	26.000 EACH	_____.		_____.	
0280	2602-0000520 REMOVAL OF OPEN-THROAT CURB INTAKE SEDIMENT FILTER	26.000 EACH	_____.		_____.	
<b>Section: 0001</b>			<b>Total:</b>		_____.	
			<b>Total Bid:</b>		_____.	

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HAMILTON COUNTY

PCC PATCHING  
STBG-SWAP-8212(618)--SG-40

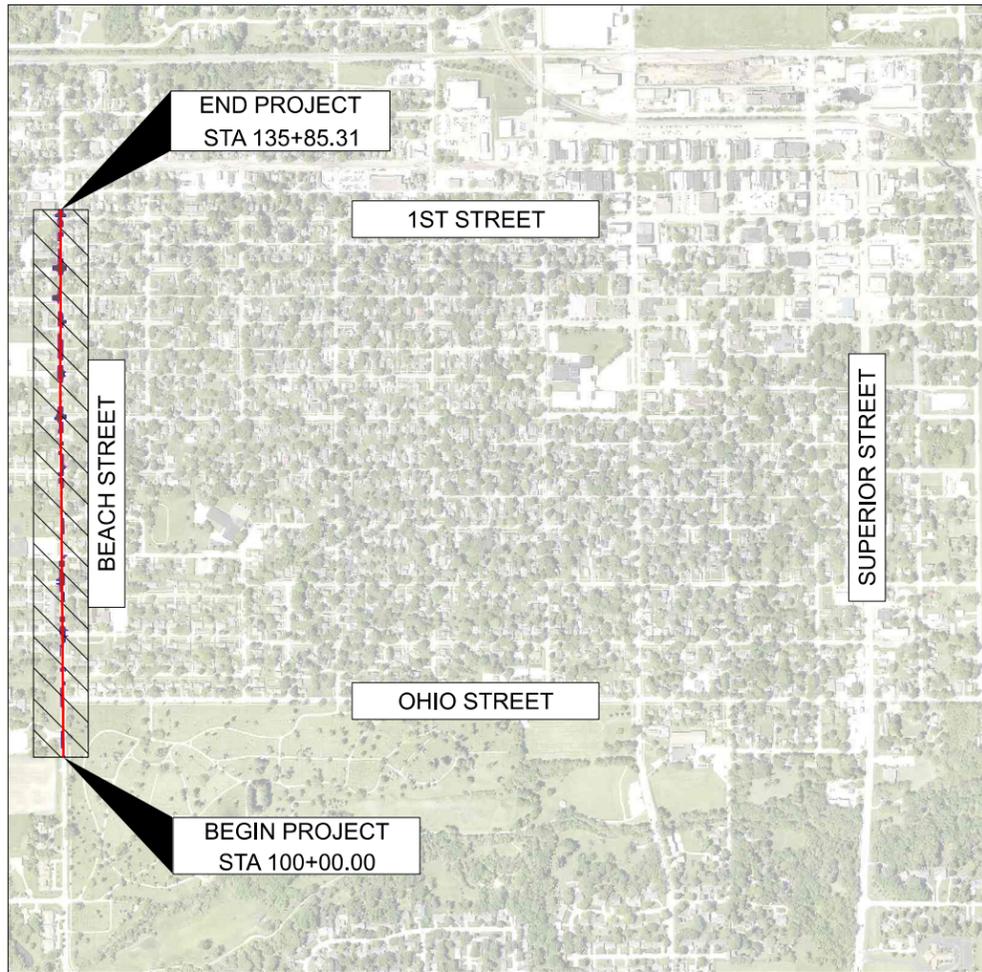
LETTING DATE  
03-18-2025

VALUE ENGINEERING SAVES. REFER TO ARTICLE 1105.13 OF THE SPECIFICATIONS.

# URBAN ROAD SYSTEM IMPROVEMENT PLANS FOR CITY OF WEBSTER CITY

## HAMILTON COUNTY, IOWA PCC PATCHING

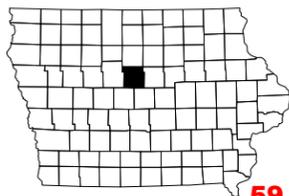
### ON BEACH STREET, FROM SECOND STREET SOUTH 0.7 MILES TO 400' SOUTH OF OHIO STREET



VICINITY MAP

REFER TO THE PROPOSAL FORM FOR A LIST OF APPLICABLE SPECIFICATIONS.

REFER TO SHEET C.4 FOR ALL APPLICABLE STANDARD ROAD PLANS.



59 of 163



WEBSTER CITY



1-800-292-8989  
www.iowaonecall.com



TOTAL SHEETS	51
PROJECT IDENTIFICATION NUMBER	STBG-SWAP-8212(618)--SG-40
PROJECT NUMBER	124.0781.01
WEBSTER CITY PROJECT NUMBER	9-25-006-1

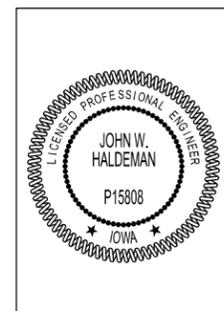
INDEX OF SEALS		
SHEET NO.	NAME	TYPE
A.1	JOHN W. HALDEMAN	PRIMARY SIGNATURE BLOCK

#### INDEX OF SHEETS

- A.1 TITLE SHEET
- B.1-B.3 TYPICAL CROSS SECTIONS AND DETAILS
- C.1-C.7 QUANTITIES, TABLES, ESTIMATE REFERENCE INFORMATION
- D.1-D.4 PLAN INFORMATION
- G.1 SURVEY CONTROL AND REFERENCE INFORMATION
- J.1-J.3 TRAFFIC CONTROL AND STAGING INFORMATION
- L.1-L.7 GEOMETRIC, STAKING, AND JOINTING INFORMATION
- S.1-S.25 SIDEWALK LAYOUT AND COMPLIANCE INFORMATION

#### UTILITY CONTACT INFORMATION

G-GAS MAIN	BLACK HILLS ENERGY WEB CTY Chuck Woods 515-343-2037 chuck.woods@blackhillscorp.com
E-UNDERGROUND ELECTRIC OE-OVERHEAD ELECTRIC	CITY OF WEBSTER CITY Adam Dickinson 515-832-9159 adam@webstercity.com
S-SANITARY SEWER ST-STORM SEWER W-WATER MAIN	CITY OF WEBSTER CITY Brandon Bahrenfuss 515-832-9123 bbahrenfuss@webstercity.com
F-FIBER F02-FIBER 2	PLATINUM CONNECT, LLC Jake Van Roekel 712-722-3451 jakevr@mypremleronline.com
C1-COMMUNICATIONS 1	CENTURYLINK Sadie Hull 918-547-0147 sadie.hull@lumen.com
C2-COMMUNICATIONS 2	MEDIACOM Mike Lawler 515-571-2183 mlawler@mediacomcc.com



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

*John W. Haldeман* 01-06-2025  
John W. Haldeман, P.E. Date  
License Number P15808  
My License Renewal Date is December 31, 2026  
Pages or sheets covered by this seal:  
All Sheets

DOT	STBG-SWAP-8212(618)--SG-40	REVISED WORK CODE	1/6/2025	JWH	BY
MARK	Engineer: PDU	Checked By: JWH	Date: 1/6/2025	Scale: 1"= 800'	Field Bk: Pgr
Technician: DCM	Project No: 1240781	Sheet A.1			

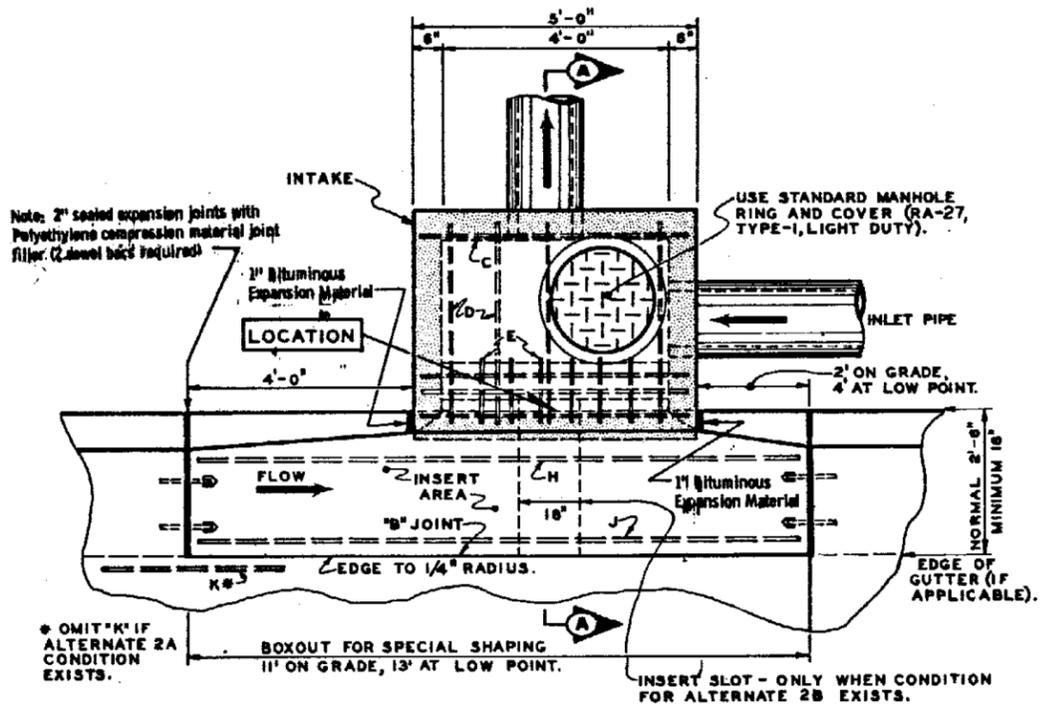
BEACH STREET PCC REHABILITATION PROJECT  
TITLE SHEET  
WEBSTER CITY, IA  
SNYDER & ASSOCIATES, INC.  
2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | WWW.SNYDER-ASSOCIATES.COM



Project No: 1240781  
Sheet A.1

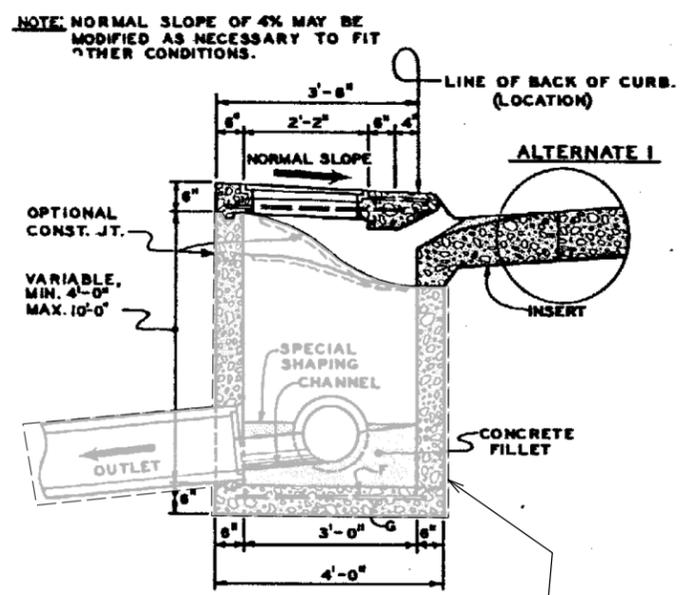


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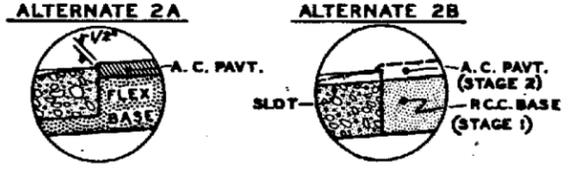
NOTE: "LOCATION" POINT IS  $\frac{1}{2}$ " OF INTAKE AT BACK OF CURB.

PLAN VIEW



NOTE: When minimum depth intake is constructed, it is intended that the concrete fillet be installed as indicated, from the base to the elevation of pipe flow lines.

SECTION A-A



CONSTRUCTION CONDITIONS

ALTERNATE 1 - For use when adjacent pavement is P. C. Concrete.

ALTERNATE 2A - For use when adjacent pavement is Asphaltic Concrete surface with P. C. Concrete base and/or curb and gutter unit.

ALTERNATE 2B - Same as 2A except adjacent pavement is built in stages. A slot is constructed in the insert area to facilitate draining the surface of the base until the final Asphaltic Concrete is placed. When the surface course is constructed the slot, in the insert area, shall be carefully filled in as directed by the Engineer.

GENERAL NOTES:

Construction of intake, as shown hereon, shall be in accordance with current Iowa State Highway Commission Standard Specifications for Storm Sewer (intake) and applicable portions of current specifications for Structural Concrete. Vibration of concrete is required.

Insert area shall be included with the quantities for either concrete pavement or curb and gutter. Special shaping of insert area shall be included with price bid for intake. Concrete for insert area may be either concrete for "Intake" or "Pavement". Finish of "Insert" shall be same as pavement. Finish for the intake top or any portion exposed shall be as required for Structural Concrete.

Storm sewer pipe should be installed before intake sidewalk construction is started. Sidewalks shall be constructed as indicated with openings for storm sewer smoothly shaped and no inlet pipes projecting unnecessarily into walk. Outlet pipes shall not project beyond inside face of sidewalk.

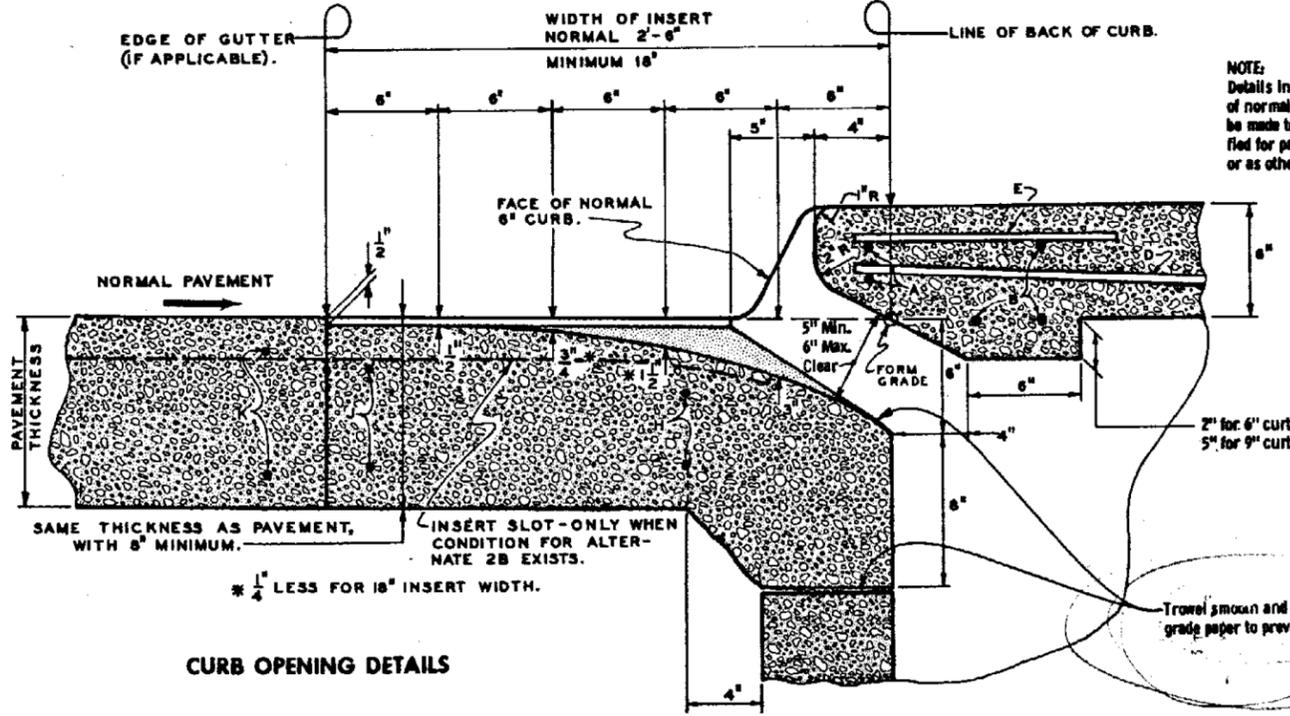
Construction joints, if necessary, in sidewalks shall be formed with keyways or tie bars to ensure bond between concrete parts.

Joints in pavement, adjacent to intake, shall be as shown on Standard Road Plan RH-2. Any transverse pavement joints shall stop at edge of insert area. Joint locations shall be as indicated hereon, except where specifically modified by other plan drawings or by the Engineer. "C" joint at end of insert shall extend through to an opposite form line.

A concrete fillet shall be placed in the bottom of the intake approximately as indicated and as directed by the Engineer. Special shaping of this fillet is required to provide a smooth channel through the intake. Top surface of the fillet shall slope approximately 1 inch per foot toward the channel.

Storm sewer pipe locations shown hereon are typical. Refer to detail project plans for additional data.

Price bid for intake shall include all necessary excavation and backfill, as well as special shaping of insert area, bottom fillet, and other details essentially as shown hereon.



NOTE: Details indicated hereon are for construction of intake conforming to construction of normal 6" curb (6101) as a part of pavement. Appropriate minor modification may be made to conform to other curb shape when necessary. Where 9" curb is specified for pavement construction, the intake design shall be adjusted as indicated, or as otherwise directed by the Engineer.

REINFORCING SCHEDULE			
MARK	LENGTH	NUMBER	SPACING
A	4'-9"	2	SEE DETAIL
B	4'-9"	3	SEE DETAIL
C	4'-9"	1	SEE DETAIL
D	3'-4"	4	SEE DETAIL
E	1'-2"	8	6"
F	4'-8"	4	13"±
G	3'-8"	8	13"±
H	10'-8"	2 *	SEE DETAIL
J	10'-8"	2 *	SEE DETAIL
K	3'-0"	2	SEE DETAIL

NOTE: ALL REINFORCING STEEL 1/2"  $\phi$  PLACED APPROXIMATELY 1-1/2" CLEAR OF CONCRETE SURFACES.

\* 2' LONGER WHEN USING 13' BOXOUT.

PLACE SUBGRADE PAPER 4' FROM 1/2" DATE	IOWA HIGHWAY COMMISSION	
	STANDARD ROAD PLAN	RA-3
	RECOMMENDED	Jack C. Dalbridge 3/10/67 ROAD ENGINEER DATE
	APPROVED	J. P. MacLaughlin 3/12/67 DESIGN ENGINEER DATE
		J. L. Gorman 4/6/67 DEPUTY CHIEF ENGINEER DATE
CURB INTAKE SHALLOW WELL		

NOTE

THE ABOVE STANDARD ROAD PLAN IS THE ORIGINAL FOR EXISTING INTAKES ON BEACH STREET.

THE ABOVE STANDARD ROAD PLAN IS FOR REFERENCE ONLY; CONTRACTOR SHALL FIELD VERIFY EXISTING INTAKE CONSTRUCTIONS.

DOT	STEG-SHAP-8212(6/8)-SG-40
MARK	REVISION
Engineer: PDJ	Checked By: JWH
Technician: DCM	Date: 12/17/2024
Field Bk:	Page:
Project No:	1240781
Sheet	B.2

BEACH STREET PCC REHABILITATION PROJECT

TYPICAL CROSS SECTIONS AND DETAILS

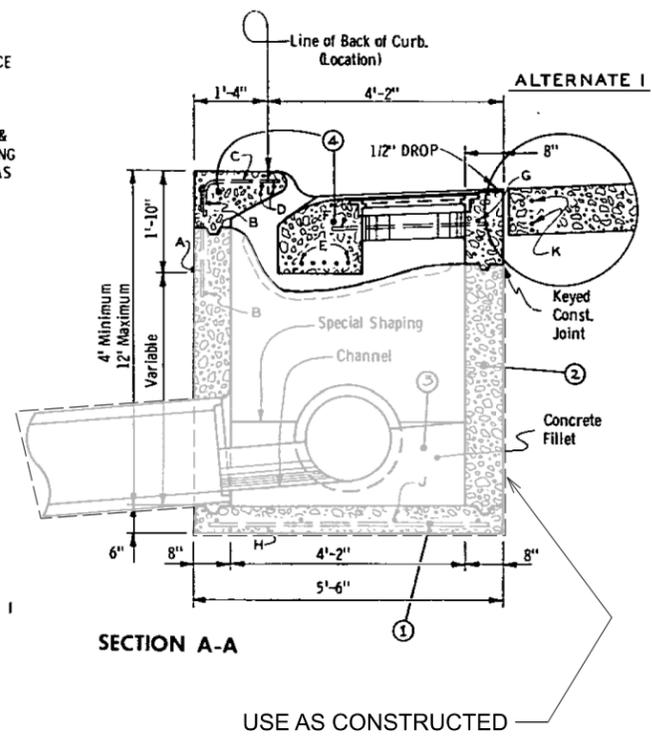
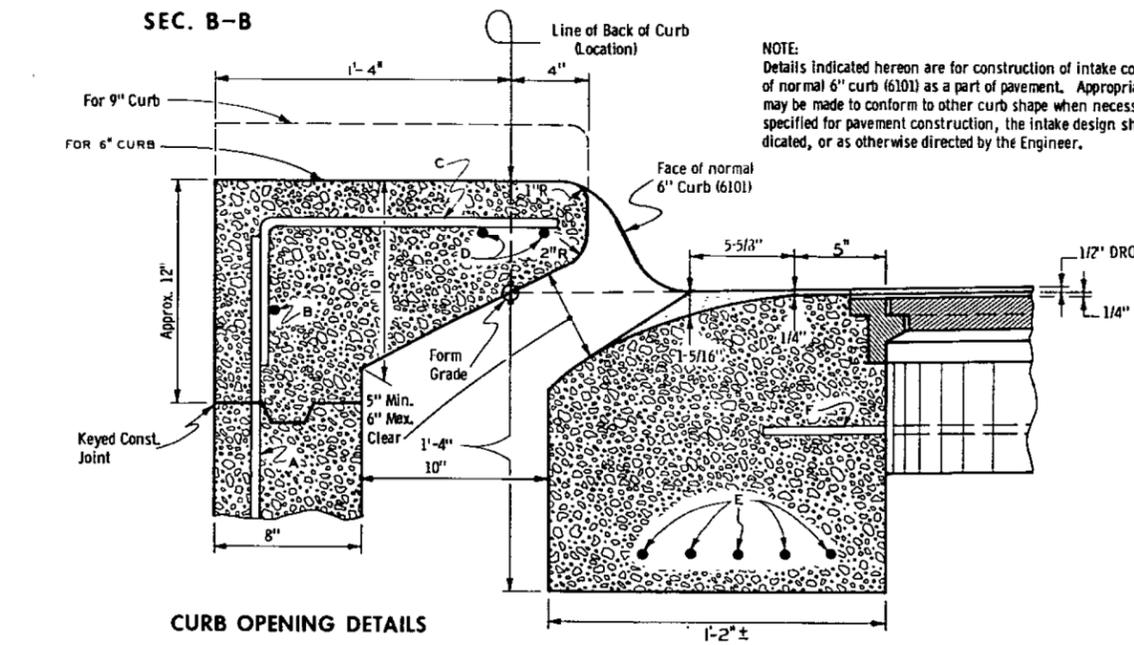
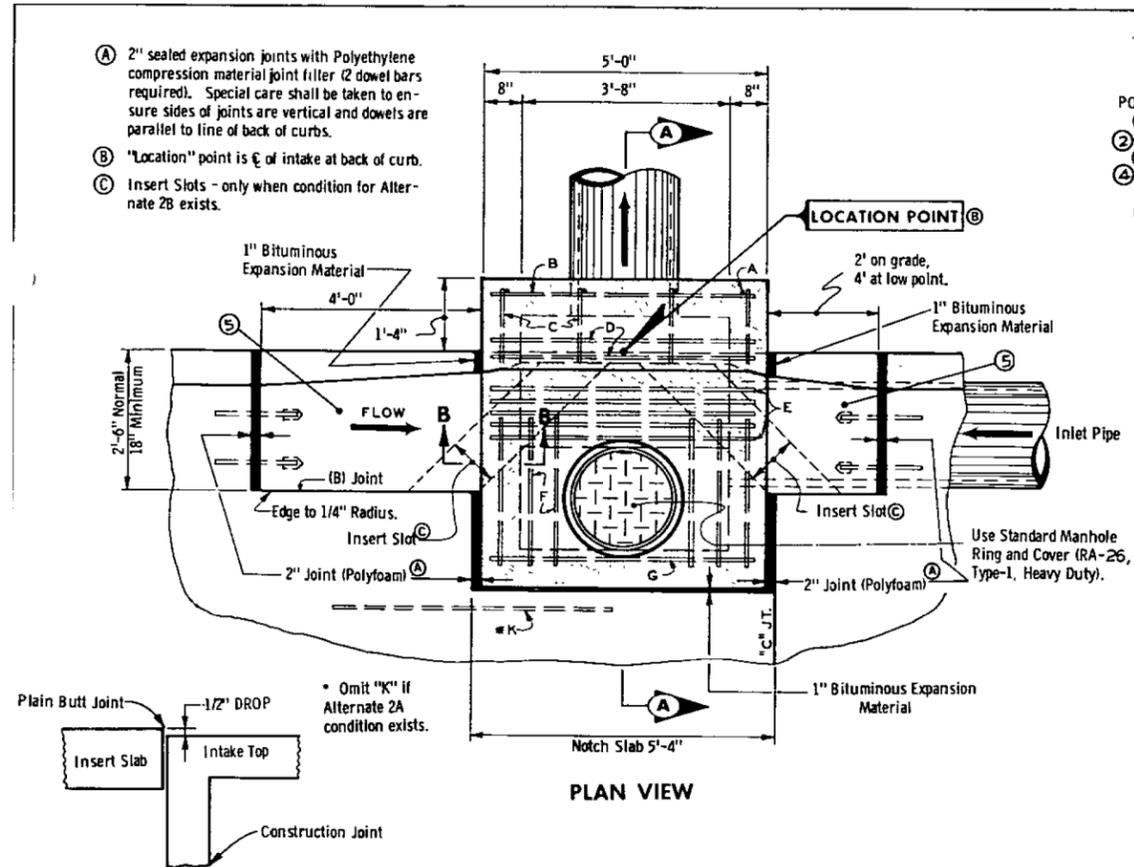
WEBSTER CITY, IA

SNYDER & ASSOCIATES, INC.

2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM



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REINFORCING SCHEDULE			
MARK	LENGTH	NUMBER	SPACING
A	2'-0"	4	18"
B	4'-6"	2	18" See Detail
* C	2'-0"	4	18"
D	4'-6"	2	See Detail
E	4'-6"	6	2-1/2"
F	2'-8"	6	6"
G	4'-6"	1	See Detail
H	5'-0"	4	18"
J	4'-6"	4	18"
K	5'-0"	2	SEE DETAIL

\* DETAIL "C"

NOTE: All reinforcing steel 1/2"  $\phi$  placed approximately 1-1/2" clear of concrete surfaces.

**CONSTRUCTION CONDITIONS**

ALTERNATE 1 - For use when adjacent pavement is P. C. Concrete.

ALTERNATE 2A - For use when adjacent pavement is Asphaltic Concrete surface with P. C. Concrete base and/or curb and gutter unit.

ALTERNATE 2B - Same as 2A except adjacent pavement is built in stages. Slots are constructed in the Insert area to facilitate draining the surface of the base until the final Asphaltic Concrete is placed. When the surface course is constructed the slots, in the Insert area, shall be carefully filled in as directed by the Engineer.

**GENERAL NOTES:**

Construction of Intake, as shown hereon, shall be in accordance with current Iowa State Highway Commission Standard Specifications for Storm Sewer (Intakes) and applicable portions of current specifications for Structural Concrete. Vibration of concrete is required.

Insert area shall be included with the quantities for either concrete pavement or curb and gutter. Special shaping of insert area may be either concrete for "Intake" or "Pavement". Finish of "Insert" shall be the same as pavement. Finish for the intake top or any portion exposed shall be as required for Structural Concrete.

This Intake is intended for use where the storm sewer is placed under pavement. It may be built as a 5 foot Intake, or Insert and extension units may be added as per details of Standard Road Plan RA-7.

The Frame and Cover (RA-26, Type 1, Heavy) shall be installed 1/4" below adjacent paved area. Special shaping shall be 1/4" below adjacent pavement slab.

Storm sewer pipe should be installed before intake sidewalk construction is started. Sidewalls shall be constructed as indicated with openings for storm sewer smoothly shaped and no inlet pipes projecting unnecessarily into wall. Outlet pipes shall not project beyond inside face of sidewalk.

Construction joints, if necessary, in sidewalls shall be formed with keyways or tie bars to ensure bond between concrete pours.

Joints in pavement, adjacent to Intake, shall be as shown on Standard Road Plan RH-2. Any transverse pavement joints shall stop at edge of insert area. Joint locations shall be as indicated hereon, except where specifically modified by other plan drawings or by the Engineer. "C" joint at end of Insert shall extend through to an opposite form line.

A concrete fillet shall be placed in the bottom of the Intake approximately as indicated and as directed by the Engineer. Special shaping of this fillet is required to provide a smooth channel through the Intake. Top Surface of the fillet shall slope approximately 1 inch per foot toward the channel.

Storm sewer pipe locations shown hereon are typical. Refer to detail project plans for additional data.

Price bid for Intake shall include all necessary excavation and backfill, as well as special shaping of insert area, bottom fillet and other details essentially as shown hereon.

IOWA HIGHWAY COMMISSION			
STANDARD ROAD PLAN RA-6			
RECOMMENDED	ROAD ENGINEER	Opal Delbridge	5/4/67
	DESIGN ENGINEER	R.P. DeSousa	5/4/67
APPROVED	DEPUTY CHIEF ENGINEER	R.H. Owen	5/5/67

**CURB INTAKE**

**NOTE**

THE ABOVE STANDARD ROAD PLAN IS THE ORIGINAL FOR EXISTING INTAKES ON BEACH STREET.

THE ABOVE STANDARD ROAD PLAN IS FOR REFERENCE ONLY; CONTRACTOR SHALL FIELD VERIFY EXISTING INTAKE CONSTRUCTIONS.

DOT STG-SIAP-8212(618)-SG-40  
 MARK REVISION DATE BY  
 Engineer: PDU Checked By: JWH Scale: 1"= NTS  
 Technician: DCM Date: 12/17/2024 Field Bk: Pg:  
 Project No: 1240781  
 SHEET B.3  
 WEBSTER CITY, IA  
 TYPICAL CROSS SECTIONS AND DETAILS  
 SNYDER & ASSOCIATES, INC.  
 2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM  
 SNYDER & ASSOCIATES  
 Project No: 1240781  
 Sheet B.3

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ESTIMATED ROADWAY QUANTITIES (1 DIVISION PROJECT)					
Item No.	Item Code	Item	Unit	Total	As Built Qty.
1	2105-8425005	TOPSOIL, FURNISH AND SPREAD	CY	30	
2	2301-6911722	PORTLAND CEMENT CONCRETE PAVEMENT SAMPLES	LS	1	
3	2435-0600010	MANHOLE ADJUSTMENT, MINOR	EA	17	
4	2510-6745850	REMOVAL OF PAVEMENT	SY	14	
5	2511-6745900	REMOVAL OF SIDEWALK	SY	571	
6	2511-7526004	SIDEWALK, P.C. CONCRETE, 4 IN.	SY	159	
7	2511-7526006	SIDEWALK, P.C. CONCRETE, 6 IN.	SY	456	
8	2511-7528101	DETECTABLE WARNING	SF	480	
9	2512-1725256	CURB AND GUTTER, P.C. CONCRETE, 2.5 FT.	LF	49	
10	2514-0000200	REMOVAL OF CURB	STA	0.7	
11	2527-9263209	PAINTED PAVEMENT MARKING, WATERBORNE OR SOLVENT-BASED	STA	4.92	
12	2528-2518000	SAFETY CLOSURE	EA	28	
13	2528-8445110	TRAFFIC CONTROL	LS	1	
14	2529-2242304	CD JOINT ASSEMBLY	EA	266	
15	2529-5070110	PATCH, FULL-DEPTH FINISH, BY AREA	SY	5251	
16	2529-5070120	PATCHES, FULL-DEPTH FINISH, BY COUNT	EA	46	
17	2529-8174010	SUBBASE, (PATCHES)	SY	5251	
18	2533-4980005	MOBILIZATION	LS	1	
19	2542-1006001	CRACK AND JOINT CLEANING AND FILLING (PCC PAVEMENT)	MILE	0.7	
20	2542-1007000	SEALER MATERIAL (PCC PAVEMENT)	LB	20000	
21	2599-9999005	INTAKE, RA-3, THROAT ONLY	EA	6	
22	2599-9999005	INTAKE, RA-3, TOP ONLY	EA	2	
23	2599-9999005	INTAKE, RA-6, TOP AND THROAT ONLY	EA	4	
24	2599-9999010	REMOVE AND STOCKPILE LANDSCAPING BRICK	LS	1	
25	2601-2636044	SEEDING AND FERTILIZING (URBAN)	ACRE	0.8	
26	2602-0000500	OPEN-THROAT CURB INTAKE SED FILT, EC-602	LF	156	
27	2602-0000510	MAINT OF OPEN-THRT CURB INTKE SDMNT FLTR	EA	26	
28	2602-0000520	RMVL OF OPEN-THRT CURB INTKE SDMNT FLTR	EA	26	

100-0A

ESTIMATE REFERENCE INFORMATION		
Item No.	Item Code	Description
1	2105-8425005	TOPSOIL, FURNISH AND SPREAD (CY) Quantity assumes 6 inches of placement where existing sidewalk was removed and is not being replaced. Use as directed by the Engineer.
-	-	-
2	2301-6911722	PORTLAND CEMENT CONCRETE PAVEMENT SAMPLES (LS) This item is for the Contractor to provide a qualified independent third party testing laboratory for all full depth patches, curb and gutter, sidewalk, driveways and intake reconstruction including: slump and air tests per Section 2301.02, B, 3, and 2301.02, B, 4; hardened material testing and care and transportation of cylinders.
-	-	-
3	2435-0600010	MANHOLE ADJUSTMENT, MINOR (EACH) Refer to D-sheets for locations. Refer to Tabulation 104-11 for locations and quantities. Bid item is for the adjustments of the existing sanitary and storm sewer structures located within the project limits. Type B or F castings using height adjustment structures located within the project limits. Type B or F castings using height adjustment mechanism are required for all manholes in pavement. Bid item includes sloped adjustment rings as necessary. The maximum height of adjustment rings allowed for manhole castings is rings as necessary. the maximum height of adjustment rings allowed for manhole castings is 12 inches.
-	-	-
4	2510-6745850	REMOVAL OF PAVEMENT (SY) Refer to D-Sheets and Tabulation 102-6C. Bid item is for the curb and gutter removal at Parcel 3, 1300 Locust Street.
-	-	-
5	2511-6745900	REMOVAL OF SIDEWALK (SY) Refer to D-sheets for locations. Refer to Tabulation 110-5 for locations and quantities. All material shall become property of the Contractor to dispose of off site.
-	-	-
6	2511-7526004	SIDEWALK, P.C. CONCRETE, 4 IN.(SY)
7	2511-7526006	SIDEWALK, P.C. CONCRETE, 6 IN.(SY)
8	2511-7528101	DETECTABLE WARNINGS (SF) Refer to B-Sheets for typical sections. Refer to S-Sheets for layouts staking information. Refer to Tab. 113-1 for locations and quantities. Detectable Warnings shall be cast iron. Install per manufacturer recommendations and they shall meet Americans with Disabilities Act (ADA) accessibility guidelines. Certified Plant Inspection is required. Refer to Section 2521 for additional information.
-	-	-
9	2512-1725256	CURB AND GUTTER, P.C. CONCRETE, 2.5 FT. (LF) Refer to Tabulation 112-4. Bid item is for the curb and gutter pavement at Parcel 3, 1300 Locust Street. Curb and gutter pavement thickness shall be 10" Depth with no modified subbase.
-	-	-
10	2514-0000200	REMOVAL OF CURB (STA) Refer to D-Sheets. Grind existing curb for pedestrian ramp locations per MI-220 "Detectable warnings and pedestrian ramp".
-	-	-
11	2527-9263209	PAINTED PAVEMENT MARKING, WATERBORNE OR SOLVENT-BASED (STA) Refer to Tabulation 108-22 for locations and additional information.
-	-	-
12	2528-2518000	SAFETY CLOSURE (EACH) Refer to J-Sheets for locations and details. Refer to Tabulation 108-13A for locations and quantities.
-	-	-
13	2528-8445110	TRAFFIC CONTROL Refer to the J-Sheets for traffic control plan and signage. Additional traffic control devices or signs needed for paving operations shall be incidental to this bid item. Refer to Standard Road Plans TC-211, TC-252, and TC-601.
-	-	-
14	2529-2242304	CD JOINT ASSEMBLY
15	2529-5070110	PATCH, FULL-DEPTH FINISH, BY AREA
16	2529-5070120	PATCHES, FULL-DEPTH FINISH, BY COUNT
17	2529-8174010	SUBBASE, (PATCHES) Refer to D-Sheets for locations and information. Refer to Tabulation 102-6C for locations and quantities. Patches are full-depth finish PCC with with dowels. C-4WRC-20 or C-4WR mix required for patches; Class M mixes are not allowed. Subbase for patches is included at 100% of patching area to be used at the discretion of the Engineer. Smoothness per Spec Section 2317 is not specified. Patches shall be checked with a 10 foot straightedge correcting highs or lows to within 1/8" per Specifications 2529.03, Construction, G.2.e. Patch count includes individual lanes plus adjacent intersections. Existing pavement thickness is 8" +/- . Patch thickness shall be 10". Table 2529.05-1: Patching Quantity Adjustment shall not apply. Joint sealing bid separately.
-	-	-
18	2533-4980005	MOBILIZATION (LS) Item includes all handbills, notifications, and coordination for schedule updates with the City of Webster City and the Engineer for purposes of public notification through website and social media channels. This is incidental to this bid item. The Engineer will be performing the construction staking for the project.
-	-	-
19	2542-1006001	CRACK AND JOINT CLEANING AND FILLING (PCC PAVEMENT)
20	2542-1007000	SEALER MATERIAL (PCC PAVEMENT) Backer rod shall not be utilized. Quantity of sealer material based on 24,000 feet of existing cracks and joints plus full depth patch joints.
-	-	-

100-4A

DOT: STGC-SHAP-8212(618)-SG-40		MARK	REVISION	DATE	BY
Engineer: PDU	Checked By: JWH	Scale: 1"= NTS'	Field Bk:	Pg:	
Technician: DCM	Date: 12/17/2024				
Project No: 1240781					Sheet C.1
<b>BEACH STREET PCC REHABILITATION PROJECT</b>					
QUANTITIES, TABLES, ESTIMATE REFERENCE INFORMATION			WEBSTER CITY, IA		
<b>SNYDER &amp; ASSOCIATES, INC.</b>					
2727 SW SNYDER BLVD ANKENY, IOWA 50023 515-964-2020   WWW.SNYDER-ASSOCIATES.COM					
					
Project No: 1240781					
Sheet C.1					

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100-4A

### ESTIMATE REFERENCE INFORMATION

Item No.	Item Code	Description
21	2599-9999005	INTAKE, RA-3, THROAT ONLY (EACH) Refer B-Sheets for structure details. Refer to Tabulation 104-11. Includes sawing, removal, excavation disposal and replacement of intake throat and all reinforcement, concrete, expansion joints, and backfilling, complete in place. - Method of Measurement: The engineer will count each throat replaced. - Basis of Payment: Payment will be contract unit price paid for each throat replaced.
22	2599-9999005	INTAKE, RA-3, TOP ONLY (EACH) Refer B-Sheets for structure details. Refer to Tabulation 104-11. Includes removal, disposal and replacement of intake top including standard manhole ring and cover, complete in place. - Method of Measurement: The engineer will count each top replaced. - Basis of Payment: Payment will be contract unit price paid for each top replaced.
23	2599-9999005	INTAKE, RA-6, TOP AND THROAT ONLY (EACH) Refer B-Sheets for structure details. Refer to Tabulation 104-11. Includes sawing, excavation, removal, disposal and replacement of intake top and throat with frame and cover, reinforcement, concrete, joints, and backfilling complete in place. - Method of Measurement: The engineer will count each top and throat replaced. - Basis of Payment: Payment will be contract unit price paid for each top and throat replaced.
24	2599-9999010	REMOVE AND STOCKPILE LANDSCAPING BRICK Refer to D-Sheets for location. Includes removal and stockpiling by the Contractor of landscaping brick on Parcel 5. Any bricks damaged in operations by the Contractor are to be replaced in kind. - Method of Measurement: The engineer will count the lump sum amount of landscaping brick removed and stockpiled. - Basis of Payment: Payment will be lump sum paid upon stockpiling of the landscaping brick.
25	2601-2636044	SEEDING AND FERTILIZING (URBAN)(ACRE) Item is to be used for final seeding all of disturbed areas where construction has been completed. Use between March 1 and May 31 and between August 10 to September 30.
26	2602-0000500	OPEN-THROAT CURB INTAKE SED FILT, EC-602 (LF)
27	2602-0000510	MAINT OF OPEN-THRT CURB INTKE SDMNT FLTR (EACH)
28	2602-0000520	RMVL OF OPEN-THRT CURB INTKE SDMNT FLTR (EACH) Refer to the D-Sheets for plan view locations. Refer to Standard Road Plan EC-602 for details. Refer to Tabulation 100-36.

100-36  
10-16-18

### OPEN-THROAT CURB INTAKE SEDIMENT FILTER

Possible Standard: EC-602

Location Station	Side	Installation	Maintenance	Removal	Remarks
		LF	EACH	EACH	
103+54.75	LT	6.0	1	1	
111+20.17	LT	6.0	1	1	
112+69.32	RT	6.0	1	1	
112+69.88	LT	6.0	1	1	
114+86.90	LT	6.0	1	1	
115+38.85	RT	6.0	1	1	
118+52.17	RT	6.0	1	1	
118+67.33	LT	6.0	1	1	
119+04.40	LT	6.0	1	1	
121+89.62	RT	6.0	1	1	
122+09.97	LT	6.0	1	1	
122+46.62	LT	6.0	1	1	
124+81.41	RT	6.0	1	1	
125+02.92	LT	6.0	1	1	
125+33.57	RT	6.0	1	1	
128+19.07	RT	6.0	1	1	
128+40.97	LT	6.0	1	1	
128+96.70	RT	6.0	1	1	
131+67.41	RT	6.0	1	1	
131+80.92	LT	6.0	1	1	
132+27.90	LT	6.0	1	1	
132+43.64	RT	6.0	1	1	
135+01.06	RT	6.0	1	1	
135+17.70	LT	6.0	1	1	
135+61.36	LT	6.0	1	1	
135+79.03	RT	6.0	1	1	
<b>TOTALS:</b>		<b>156</b>	<b>26</b>	<b>26</b>	

100\_05  
10/17/23

### CURB AND GUTTER

Refer to PV-102

Line No.	Station From	Station To	Side	Length (LF)	Width (LF)	Width 1.5 (LF)	Width 2.0 (LF)	Width 2.5 (LF)	Width 3.0 (LF)	Width 3.5 (LF)	Width 4.0 (LF)	Width 4.5 (LF)	Width 5.0 (LF)	Width 5.5 (LF)	Modified Subbase (CY)	Special Backfill (TON)	Remarks
9	106+64.20	107+13.20	LT						49								2 Inch Ramp Curb

DOT	STEG-SIAP-0212(6/18)-SG-40	MARK	REVISION	DATE	BY
Engineer: PDU	Checked By: JWH	Scale: 1"= NTS'	Field Bk:	Pg:	
Technician: DCM	Date: 12/17/2024				
Project No: 1240781					Sheet C-2

## BEACH STREET PCC REHABILITATION PROJECT

QUANTITIES, TABLES, ESTIMATE REFERENCE INFORMATION

# SNYDER & ASSOCIATES, INC.

2727 SW SNYDER BLVD  
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**SNYDER & ASSOCIATES**

Project No: 1240781

Sheet C.2





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104-11 (MODIFIED)  
08-15-22

### REBUILDING OF INTAKES AND UTILITY ACCESS

Line No.	Item No.	Location Station	Type	Adjustment
1		STA. 111+19.57, 18.19' LT	Intake, RA-3, Throat	Replace Throat RA-3
2		STA. 121+89.00, 14.29' RT	Intake, RA-6, Throat, Top	Replace Throat and Top RA-6
3		STA. 124+87.51, 21.20' RT	Intake, RA-3, Throat	Replace Throat RA-3
4		STA. 125+01.56, 17.30' LT	Intake, RA-3, Throat	Replace Throat RA-3
5		STA. 128+19.90, 17.46' RT	Intake, RA-3, Top	Replace Top RA-3
6		STA. 128+40.74, 17.16' LT	Intake, RA-3, Top	Replace Top RA-3
7		STA. 128+96.34, 14.22' RT	Intake, RA-6, Throat, Top	Replace Throat and Top RA-6
8		STA. 131+80.38, 21.98' LT	Intake, RA-3, Throat	Replace Throat RA-3
9		STA. 132+28.39, 21.53' LT	Intake, RA-3, Throat	Replace Throat RA-3
10		STA. 135+01.51, 14.28' RT	Intake, RA-6, Throat, Top	Replace Throat and Top RA-6
11		STA. 135+16.34, 21.59' LT	Intake, RA-3, Throat	Replace Throat RA-3
12		STA. 135+79.36, 14.26' RT	Intake, RA-6, Throat, Top	Replace Throat and Top RA-6
TOTAL:				
		Replace Throat RA-3	6	
		Replace Top RA-3	2	
		Replace Throat and Top RA-6	4	

### STANDARD ROAD PLANS

105-4  
10-18-11

The following Standard Road Plans apply to construction work on this project.

Number	Date	Title
MI-220	10-20-15	Detectable Warnings and Pedestrian Ramp
PM-110	10-15-24	Line Types
PV-101	04-19-22	Joints
PV-102	04-21-20	PCC Curb Details
PV-103	04-19-22	Manhole Boxouts in PCC Pavement
TC-202	04-18-23	Work Within 15 ft of Traveled Way
TC-211	10-15-19	Lane Closure on Low Volume Roadway
TC-233	10-17-17	Pavement Marking Operations Two-Lane
TC-252	04-21-20	Routes Closed to Traffic
TC-601	10-15-19	Pedestrian Detour
EC-602	10-15-24	Open-Throat Curb Intake Sediment Filter

DOT   STBG-SIAP-8212(6/18)-SG-40  MARK Engineer: PDU Technician: DCM	REVISION Checked By: JWH Date: 12/17/2024  DATE BY Scale: 1"= NTS' Field Bk: Pg:  Project No: 1240781 Sheet C.4
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BEACH STREET PCC REHABILITATION PROJECT  
 QUANTITIES, TABLES, ESTIMATE REFERENCE INFORMATION  
 WEBSTER CITY, IA  
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108-13A (MODIFIED)  
10/4/2023

## SAFETY CLOSURES

Refer to Section 2518 of the Standard Specifications

Location/ Station	Road Closure Qty.	Hazard Closure Qty.	Remarks
Ohio Street			Close to Beach Street
104 + 60			
Betsy Lane			Close to Beach Street
Locust Street			Close to Beach Street
Kathy Lane			Close to Beach Street
109 + 75			
Nancy Lane			Close to Beach Street
Grand Street			Close to Beach Street
112 + 40			
112 + 90			
117 + 25			
Walnut Street			Close to Beach Street
Walnut Street			Close to Beach Street
121 + 20			
Elm Street			Close to Beach Street
Elm Street			Close to Beach Street
Water Street			Close to Beach Street
125 + 80			
128 + 20			
Bank Street			Close to Beach Street
Bank Street			Close to Beach Street
131 + 50			
Division Street			Close to Beach Street
Division Street			Close to Beach Street
133 + 50			
1st Street			Close to Beach Street
1st Street			Close to Beach Street
136 + 00			
<b>Total</b>	28		

### PAVEMENT MARKING LINE TYPES

See [PM-110](#)

\*BCY4 - Place on the same side of the roadway to match existing markings near the project.  
 \*\*NPY4 - For estimating purposes only. No Passing Zone Lines will be located in the field.

\*\*\*MNY4 - Factor of 1.00 as value includes number of 4-inch passes to cover median n

STY6: Standard Curb 6" (Yellow) @ 2.03	DCY4: Double Centerline (Yellow) @ 1.34	CLW6: Crosswalk Line (White) @ 2.00	BLW4: Broken Lane Line (White) @ 0.17	ELW4: Edge Line Right (White) @ 0.67
ELY4: Edge Line Left (Yellow) @ 0.67	SLW4: Solid Lane Line (White) @ 1.00	MNY6: Median Nose (Yellow) @ 1.00	CHY8: Channelizing Line (Yellow) @ 1.33	CHW8: Channelizing Line (White) @ 1.33
SLW2: Stop Line (White) @ 4.00				

Road ID	Location Station to Station		Dir. of Travel	Marking Type	Length by Line Type (Unfactored)												Remarks			
					STY6	DCY4	CLW6	BLW4	ELW4	ELY4	SLW4	MNY6***	CHY8	CHW8	SLW2					
					STA	STA	STA	STA	STA	STA	STA	STA	STA	STA	STA	STA		STA	STA	STA
Beach Street	100+00.00	135+85.37	BOTH	Waterborne/Solvent Paint				27.50												
Beach Street	100+00.00	100+09.83	BOTH	Waterborne/Solvent Paint					0.10											
Beach Street	100+60.61	100+86.90	SB	Waterborne/Solvent Paint					0.26											
			TOTALS:	Waterborne/Solvent Paint				4.68	0.24											

DOT	STBG-SWAP-8212(6/18)-SG-40	MARK	REVISION	DATE	BY
		Engineer: PDU	Checked By: JWH	Scale: 1"= NTS'	
		Technician: DCM	Date: 12/17/2024	Field Bk:	Pg:
					Project No: 1240781
					Sheet C-5

## BEACH STREET PCC REHABILITATION PROJECT

QUANTITIES, TABLES, ESTIMATE REFERENCE INFORMATION WEBSTER CITY, IA

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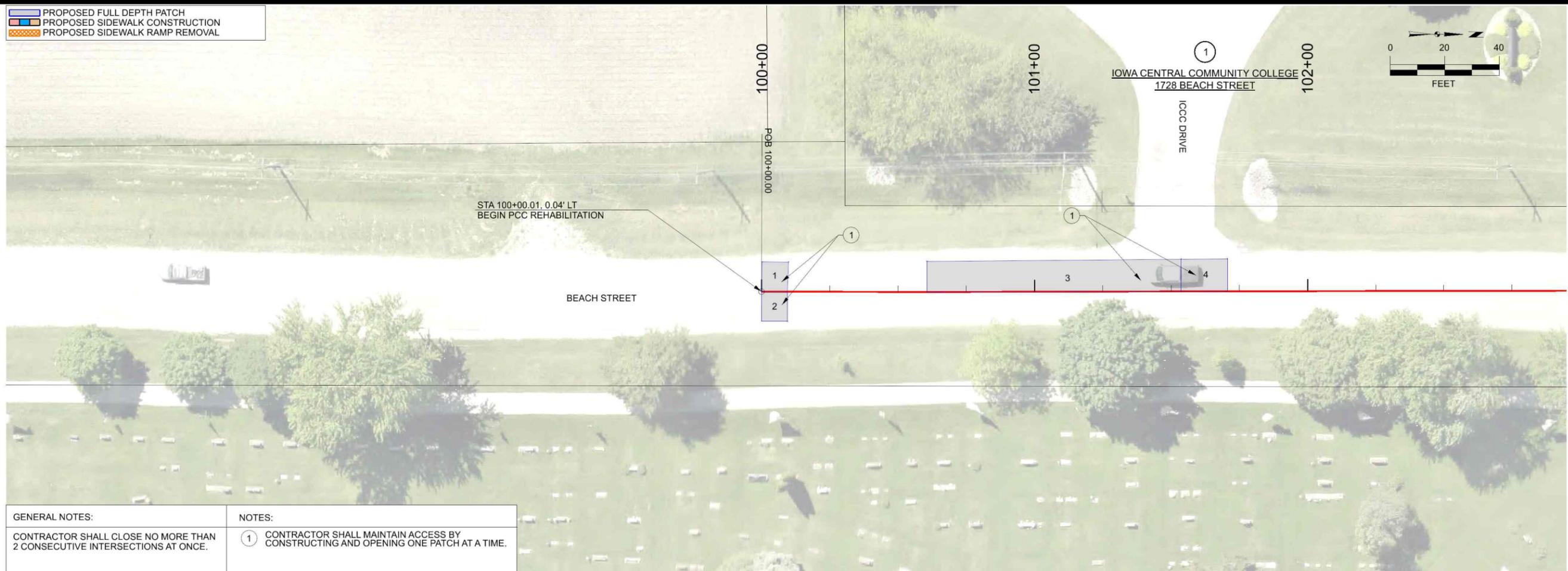
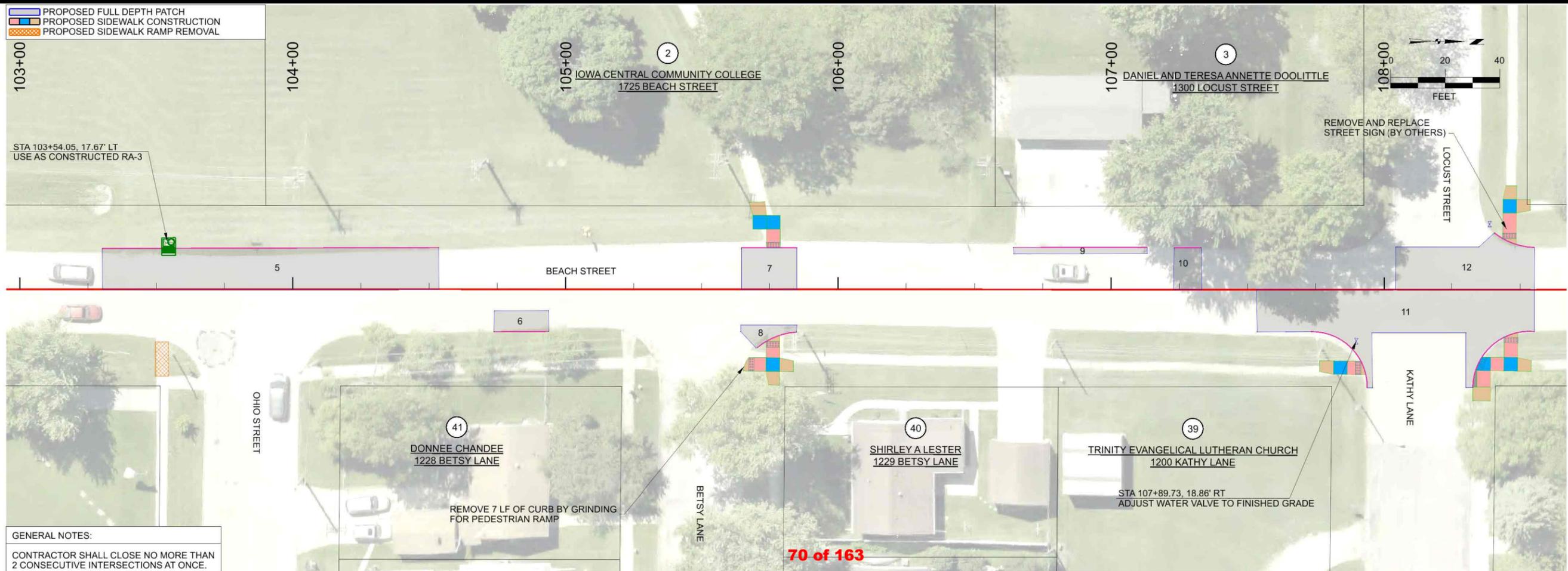
- PROPOSED FULL DEPTH PATCH
- PROPOSED SIDEWALK CONSTRUCTION
- PROPOSED SIDEWALK RAMP REMOVAL

- PROPOSED FULL DEPTH PATCH
- PROPOSED SIDEWALK CONSTRUCTION
- PROPOSED SIDEWALK RAMP REMOVAL

**GENERAL NOTES:**  
CONTRACTOR SHALL CLOSE NO MORE THAN 2 CONSECUTIVE INTERSECTIONS AT ONCE.

**NOTES:**  
① CONTRACTOR SHALL MAINTAIN ACCESS BY CONSTRUCTING AND OPENING ONE PATCH AT A TIME.

**GENERAL NOTES:**  
CONTRACTOR SHALL CLOSE NO MORE THAN 2 CONSECUTIVE INTERSECTIONS AT ONCE.

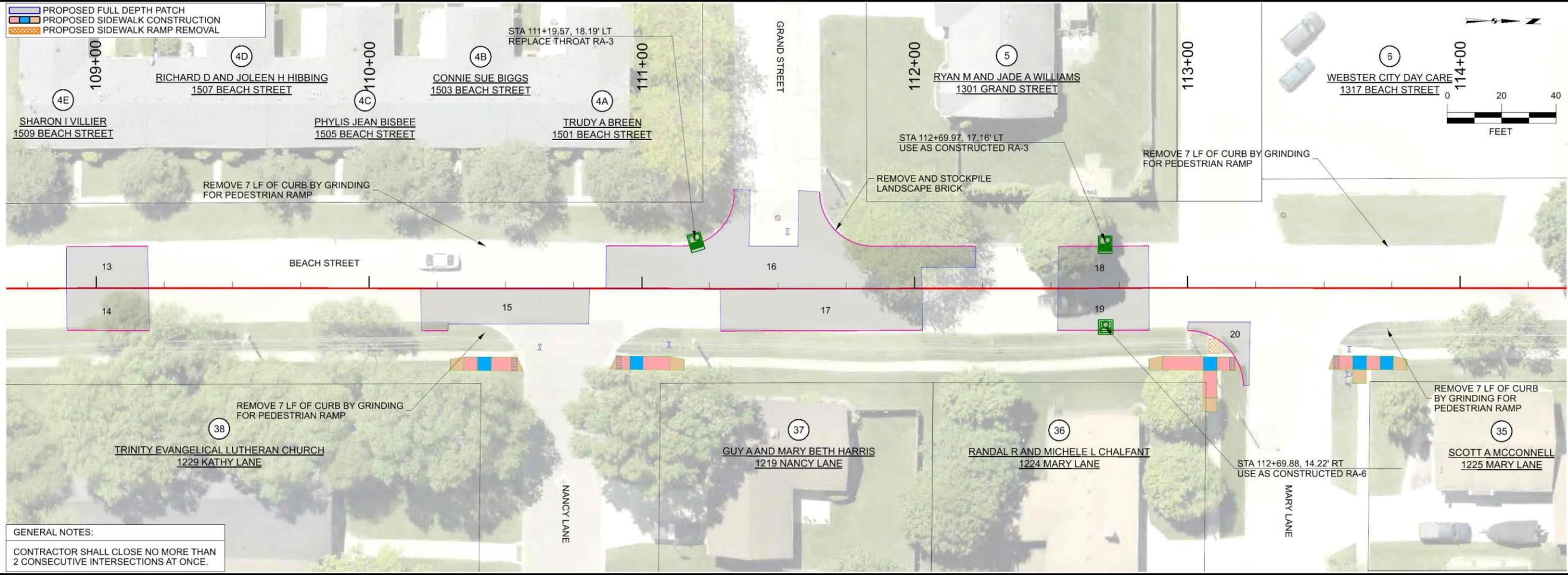


DOT	STEG-SHARP-8212(6/18)-SG-40
MARK	REVISION
Engineer: PDJ	Checked By: JWH
Technician: DCM	Date: 12/17/2024
Scale: 1"=20'	Field Bk: Pg.
Project No: 1240781	
Sheet D.1	

**BEACH STREET PCC REHABILITATION PROJECT**  
**PLAN INFORMATION**  
 WEBSTER CITY, IA  
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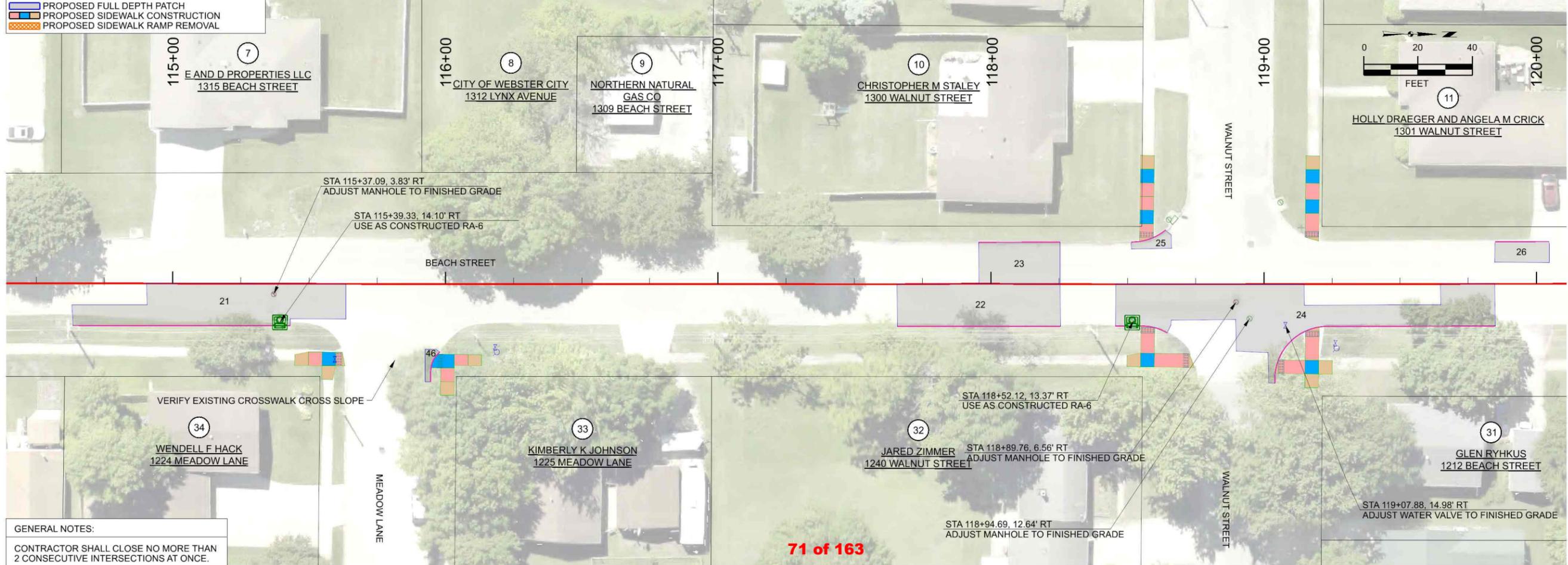
Project No: 1240781  
Sheet D.1

- PROPOSED FULL DEPTH PATCH
- PROPOSED SIDEWALK CONSTRUCTION
- PROPOSED SIDEWALK RAMP REMOVAL



GENERAL NOTES:  
CONTRACTOR SHALL CLOSE NO MORE THAN 2 CONSECUTIVE INTERSECTIONS AT ONCE.

- PROPOSED FULL DEPTH PATCH
- PROPOSED SIDEWALK CONSTRUCTION
- PROPOSED SIDEWALK RAMP REMOVAL



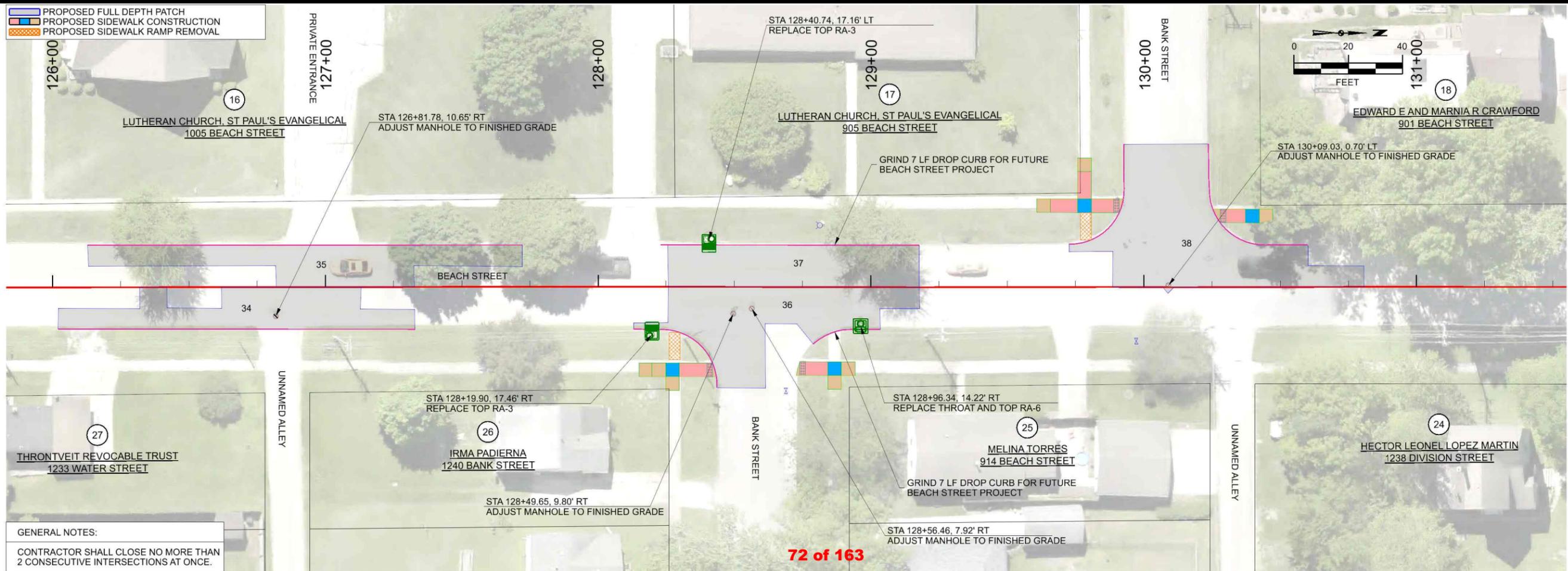
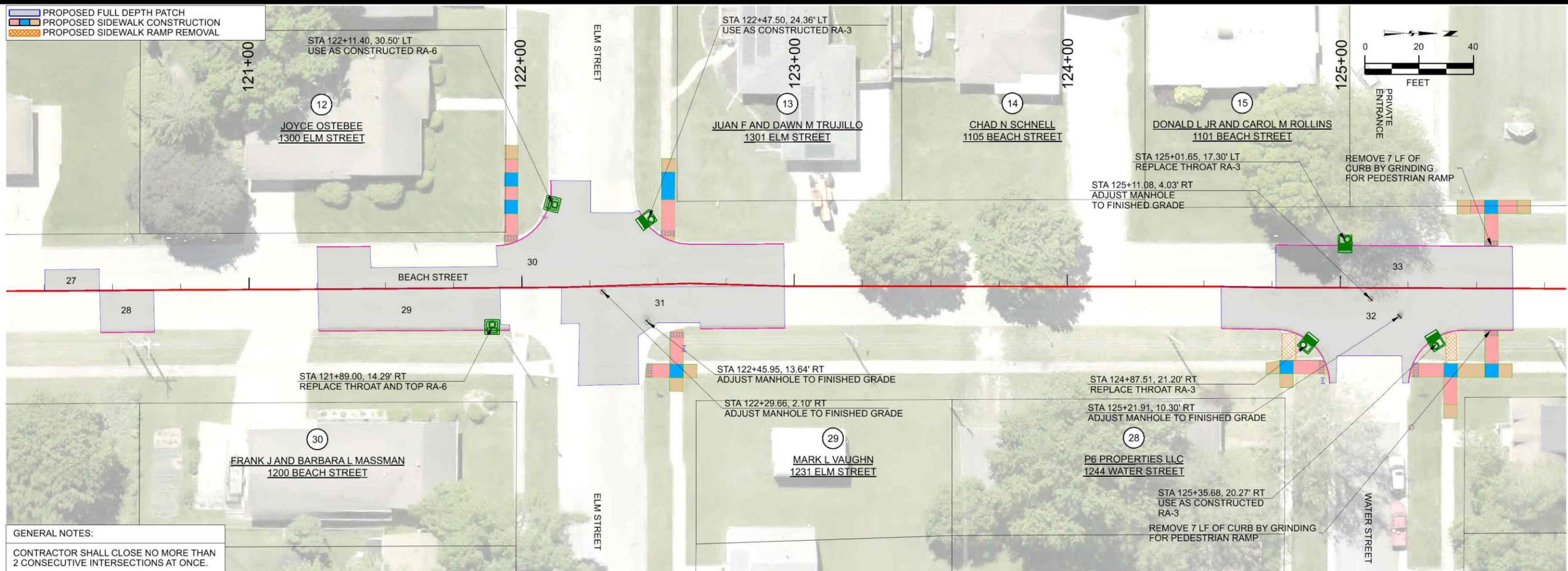
GENERAL NOTES:  
CONTRACTOR SHALL CLOSE NO MORE THAN 2 CONSECUTIVE INTERSECTIONS AT ONCE.

DOT	STEG-SHAP-8212(618)-SG-40	MARK	REVISION	DATE	BY
Engineer:	PJ	Checked By:	JWH	Scale:	1" = 20'
Technician:	DCM	Date:	12/17/2024	Field Bk.:	Pg.
Project No: 1240781					Sheet D.2

**BEACH STREET PCC REHABILITATION PROJECT**  
**PLAN INFORMATION**  
**WEBSTER CITY, IA**  
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DOT: STBG-SHAP-8212(618)-SG-40		REVISION	DATE	BY
MARK	Checked By: JWH	Scale: 1"= 20'	Field Bk: Pg.	Project No: 1240781
Engineer: PDJ	Technician: DCM	Date: 12/17/2024		Sheet D.3

## BEACH STREET PCC REHABILITATION PROJECT

WEBSTER CITY, IA

### PLAN INFORMATION

**SNYDER & ASSOCIATES, INC.**

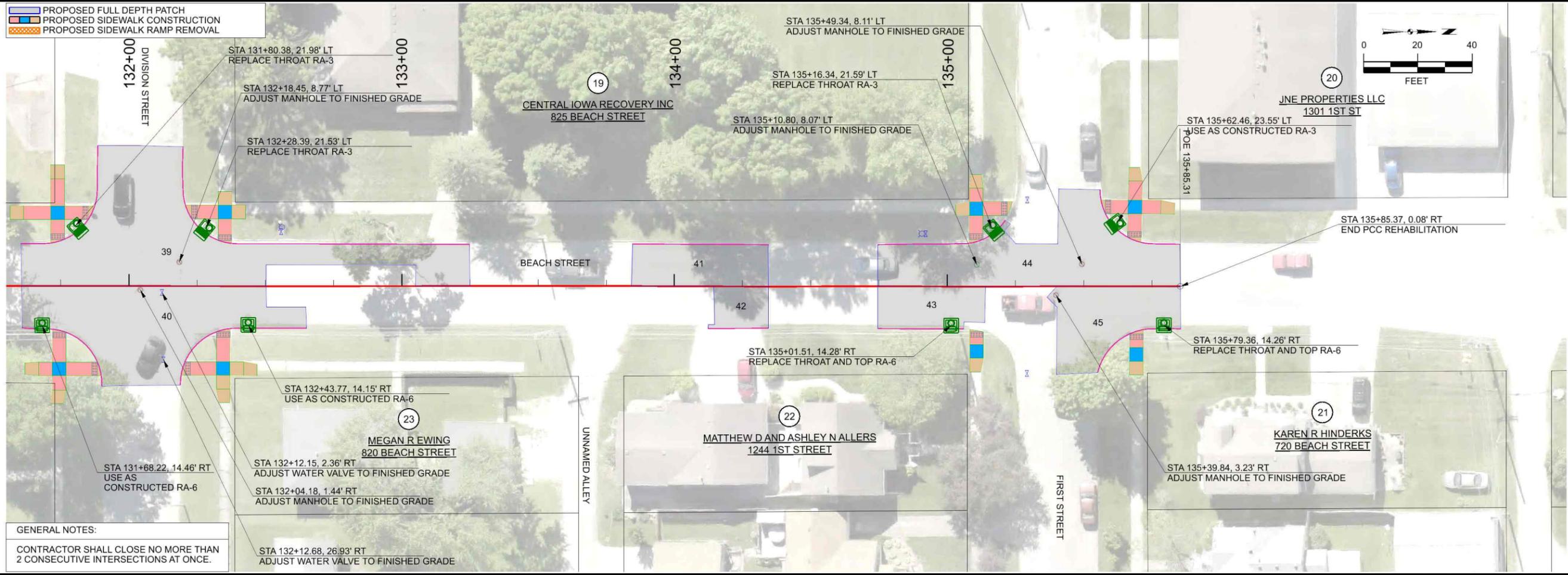
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Project No: 1240781  
 Sheet D.3



PROPOSED FULL DEPTH PATCH  
 PROPOSED SIDEWALK CONSTRUCTION  
 PROPOSED SIDEWALK RAMP REMOVAL



DOT	STBG-SHAP-8212(618)-SG-40	MARK	REVISION	DATE	BY
Engineer:	PJH	Checked By:	JWH	Scale:	1"=20'
Technician:	DCM	Date:	12/17/2024	Field Bk:	Pg.
Project No: 1240781					Sheet D.4

**BEACH STREET PCC REHABILITATION PROJECT**

PLAN INFORMATION

**WEBSTER CITY, IA**

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Project No: 1240781  
Sheet D.4



**TRAFFIC CONTROL PLAN**

108-23A  
MODIFIED

- Refer to the remaining J-sheets for details and information.
- Traffic control on this project shall be found in accordance with the current edition Manual of Uniform Traffic Control Devices (MUTCD) for the streets and highways as adopted by the Iowa Department of Transportation per 761 of the Iowa Administrative Code (IAC) Chapter 130.
- Ingress and egress from the work area will be allowed only at locations specified in the contract documents or as approved by the Engineer. All truck hauling material to and from the work area shall display a 16-inch x 48-inch retro reflective sign with the legend "DO NOT FOLLOW INTO THE WORK AREA". The sign shall be orange with black lettering (4-inch height) and be comprised of Type VII sheeting.
- All traffic control devices shall be furnished, erected, maintained, cleaned, and removed by the Contractor. All traffic control will remain the sole responsibility of the Contractor. The Contractor shall check traffic control devices daily and repair or replace damaged devices promptly.
- Where possible, all post mounted signs shall be placed at least 2-feet beyond the curb or edge of shoulder. All signs to be in place longer than three (3) days must be post mounted.
- The location for storage of equipment by the Contractor during non-working hours shall be as approved by the Engineer in charge of construction. The Contractor will be responsible for securing a safe storage area for equipment and materials to be used on the project.
- Proposed sign spacing may be modified as approved by the Engineer to meet existing field conditions or to prevent obstruction of the motorist's view of permanent signing.
- Permanent signing that conveys a message contrary to the message for the temporary signing and not applicable to the working conditions shall be covered by the Contractor when directed by the Engineer.
- The Contractor shall provide, prior to the start of construction, the name and 24-hour phone number of the Contractor's representative in charge of traffic control. The project site must be patrolled a minimum of two (2) times each 24-hour period to check and reinstall, if necessary, traffic control devices. All extra standard traffic control, signs, barricades, cones, etc. that are required shall be delivered and installed at the project site within four (4) hours of notification, including weekends. Traffic Control Diary is required.
- Proposed changes in the traffic control plan shall be reviewed with the Engineer at least 48-hours before changes are made in the field.
- The Contractor shall communicate traffic control changes detailed in these plans and detour routes with property owners along the affected public roadways at least one week prior to changes.
- The Contractor shall maintain driveway access for all parcels except as otherwise permitted. Coordinate with property owner if any driveway needs to be closed. Driveways affected include:
 

Property No.	Address
3	1300 Locust Street
11	1301 Walnut Street
15	1101 Beach Street
16	1005 Beach Street (3 locations)
19	825 Beach Street
22	1244 1st Street
27	1233 Water Street
- Handbills or door hangers are required for all residents and businesses within the project corridor(s) five (5) days prior to construction at each location. The door hanger shall be approved by the Engineer prior to distribution. The door hanger shall include the description of the work, the general schedule of the work and the name and telephone number of the Contractor and the Contractor's superintendent.
- Standard Road Plans TC-211 LANE CLOSURE ON LOW VOLUME ROADWAY and TC-252 ROUTE CLOSED TO TRAFFIC SITUATION 1 (URBAN), SITUATION 5 and SITUATION 6 shall be utilized (see staging notes and Sheets J.2 and J.2). Sidewalk closures and detours are required and constructed according to Standard Road Plan TC-601 PEDESTRIAN DETOUR.

**STAGING NOTES**

108-26A  
MODIFIED

- CONSTRUCTION SOUTH OF OHIO STREET INTERSECTION**
- Construct patches maintaining 1 lane traffic per Standard Road Plan TC-211, LANE CLOSURE ON LOW VOLUME ROADWAY.
  - Stage construction to maintain access to ICC (patches 3 and 4).
  - Crack and joint cleaning and filling may be conducted with each patched area or completed separately while maintaining 1 lane traffic per TC-211.
- CONSTRUCTION OF THE BEACH ST/OHIO STREET INTERSECTION PATCH**
- Install traffic control per Sheet J.2.
  - Close Ohio Street at the Beach Street Intersection with the detour in place.
  - Construct patching (patch no. 5) while maintaining 1 lane traffic per Standard Road Plan TC-211, LANE CLOSURE ON LOW VOLUME ROADWAY.
  - Crack and joint cleaning and filling may be conducted while maintaining 1 lane traffic per TC-211.
- CONSTRUCTION NORTH OF OHIO STREET THROUGH 1<sup>st</sup> STREET**
- Install traffic control per Sheet J.3.
  - Close Beach Street to traffic at Ohio Street and First Street per Standard Road Plan TC-252 Situation 1 (URBAN).
  - Close project intersections to maintain cross traffic (TC-252 Situation 5) or, at T intersections with Contractor and resident access only, (TC-252 Situation 6).
  - Stage work activities so that no more than 2 consecutive intersections are closed to traffic at the same time.
  - Stage construction to maintain access to Webster City Day Care (property no. 6) and Lutheran Church, St Paul's Evangelical (property no. 17).
  - Install sidewalk detours as the work progresses.
  - Complete sidewalk, ADA ramps and surface restoration.
  - Crack and joint cleaning and filling may be conducted while closures are in place.
- PROJECT LENGTH**
- Perform pavement markings under open traffic.

**PATTERN AND SYMBOL LEGEND OF TRAFFIC CONTROL**

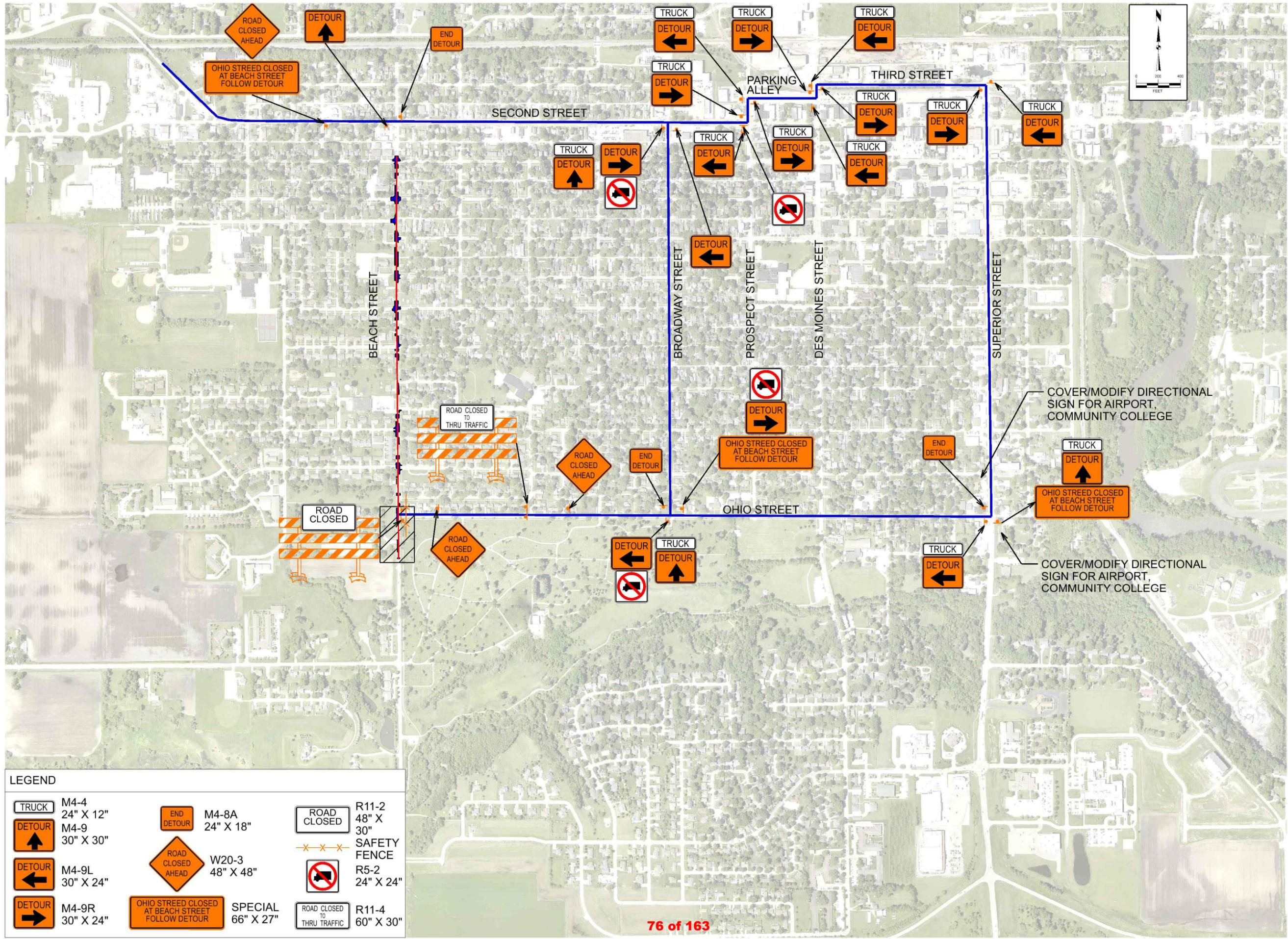
- TRAFFIC SIGN
- TYPE III BARRICADE
- ORANGE SAFETY FENCE

**BEACH STREET PCC REHABILITATION PROJECT**  
**TRAFFIC CONTROL AND STAGING**  
**WEBSTER CITY, IA**  
**SNYDER & ASSOCIATES, INC.**



Project No: 1240781  
 Sheet J.1

DOT	STG-SHA4-8212(618)-SG-40
MARK	REVISION
Engineer: PDU	Checked By: JWH
Technician: DCM	Date: 12/17/2024
Scale: 1"= 15' NTS	Field Bk: Pgs:
Project No: 1240781	
Sheet J.1	



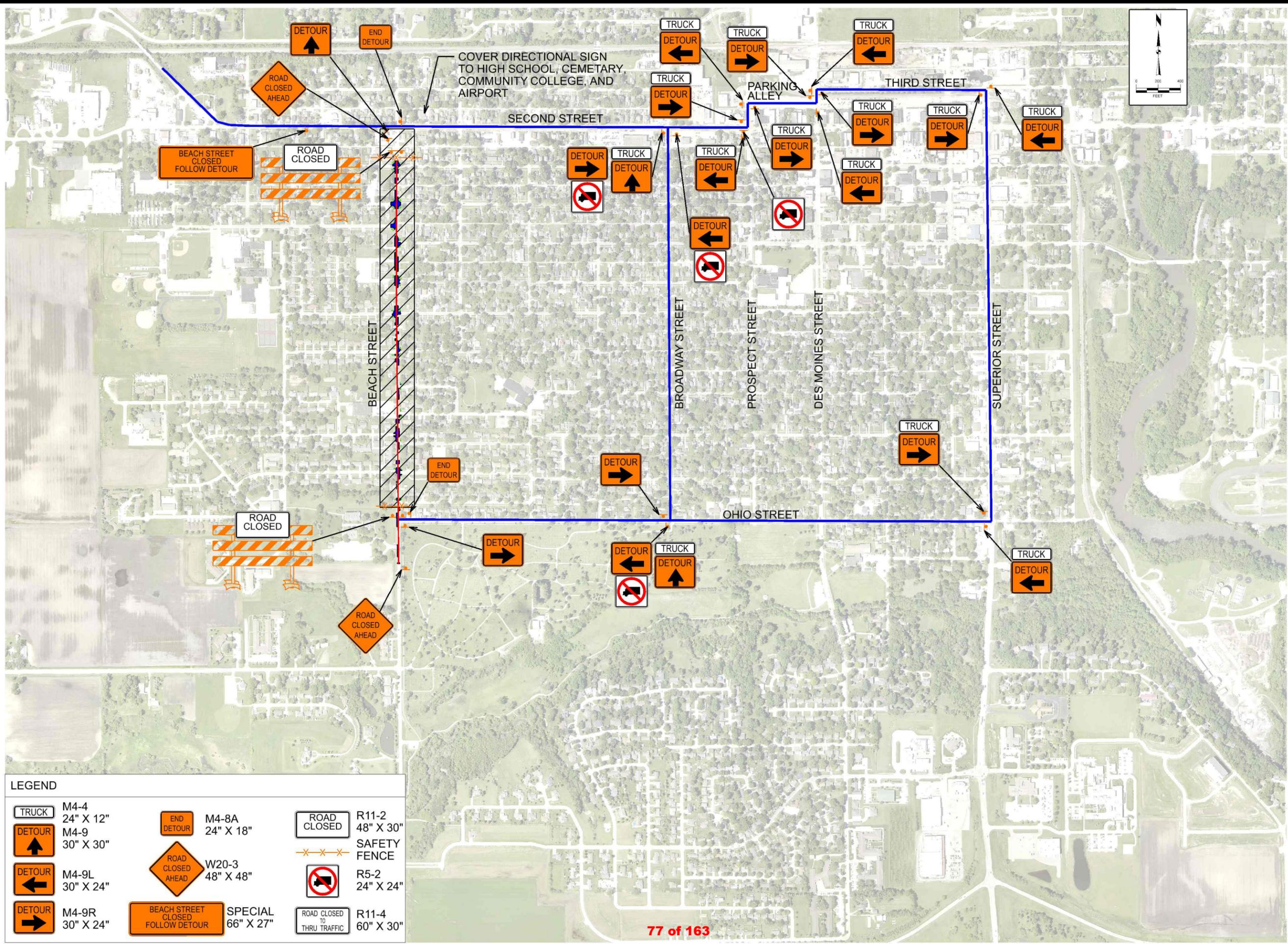
**LEGEND**

	M4-4 24" X 12"		M4-8A 24" X 18"		R11-2 48" X 30"
	M4-9 30" X 30"		W20-3 48" X 48"		SAFETY FENCE
	M4-9L 30" X 24"		SPECIAL 66" X 27"		R5-2 24" X 24"
	M4-9R 30" X 24"		R11-4 60" X 30"		

DOT	STEG-SHAP-8212(618)-SG-40	REVISION	DATE	BY
MARK		Checked By	JWH	Scale: 1"=400'
Engineer	PDJ	Date	12/17/2024	Field Bk. Pg.
Technician	DCM			
Project No: 1240781				Sheet J.2

**BEACH STREET PCC REHABILITATION PROJECT**  
 TRAFFIC CONTROL AND STAGING - OHIO STREET CLOSURE  
 WEBSTER CITY, IA  
**SNYDER & ASSOCIATES, INC.**  
 2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
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Project No: 1240781  
 Sheet J.2



**LEGEND**

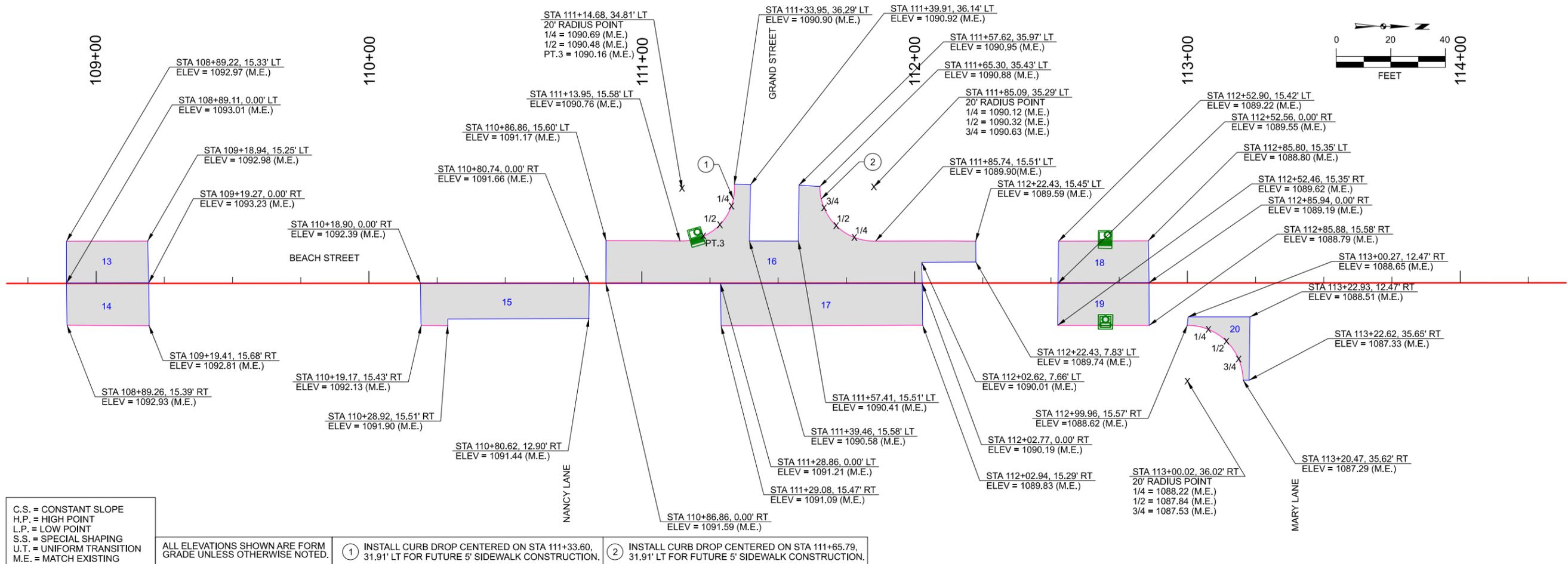
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	M4-9 30" X 30"		W20-3 48" X 48"		R5-2 24" X 24"
	M4-9L 30" X 24"		SPECIAL 66" X 27"		R11-4 60" X 30"
	M4-9R 30" X 24"				

<b>BEACH STREET PCC REHABILITATION PROJECT</b>		<b>WEBSTER CITY, IA</b>	
TRAFFIC CONTROL AND STAGING - BEACH STREET CLOSURE		Project No: 1240781	
<b>SNYDER &amp; ASSOCIATES, INC.</b>		Sheet J.3	
2727 SW SNYDER BLVD ANKENY, IOWA 50023 515-964-2020   WWW.SNYDER-ASSOCIATES.COM		Project No: 1240781 Sheet J.3	
DOT	STEG-SHAIP-8212(618)-SG-40	MARK	REVISION
Engineer: PDJ	Checked By: JWH	Date: 12/17/2024	Scale: 1"=400'
Technician: DCM	Date: 12/17/2024	Field Bk:	Pg:





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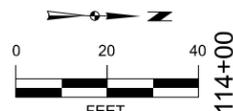
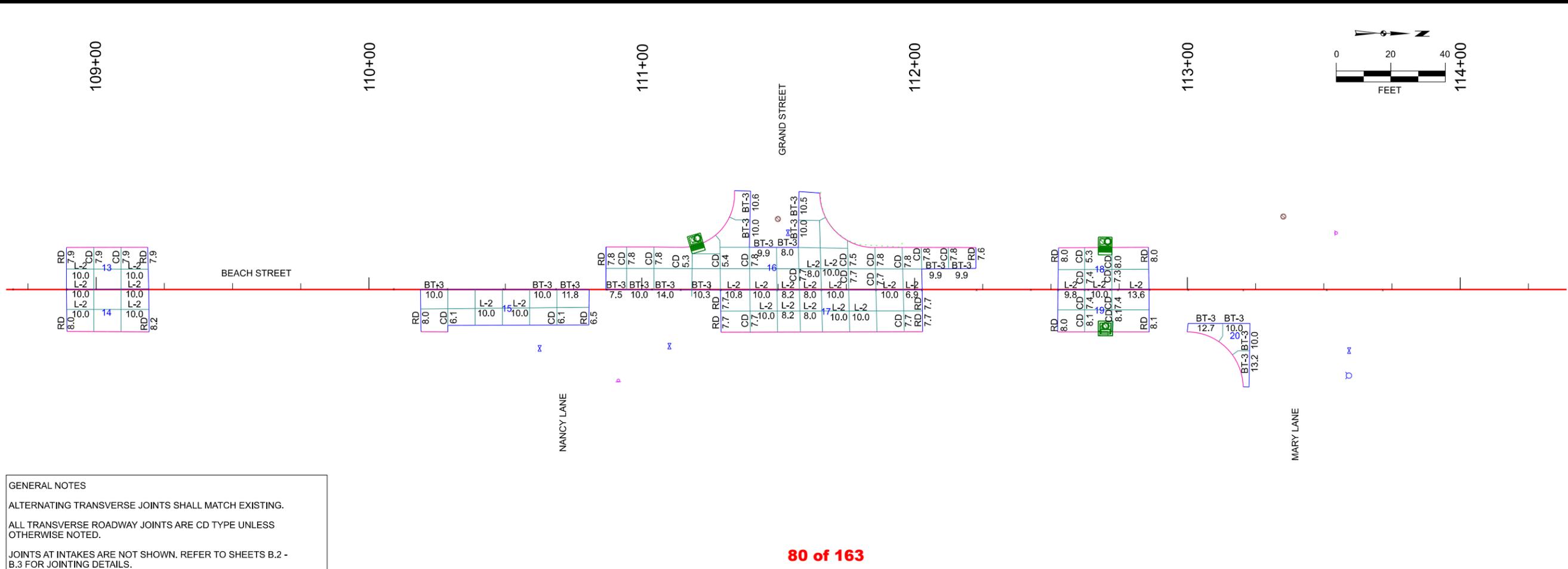
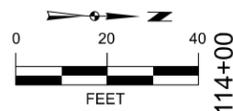


C.S. = CONSTANT SLOPE  
H.P. = HIGH POINT  
L.P. = LOW POINT  
S.S. = SPECIAL SHAPING  
U.T. = UNIFORM TRANSITION  
M.E. = MATCH EXISTING

ALL ELEVATIONS SHOWN ARE FORM GRADE UNLESS OTHERWISE NOTED.

① INSTALL CURB DROP CENTERED ON STA 111+33.60, 31.91' LT FOR FUTURE 5' SIDEWALK CONSTRUCTION.

② INSTALL CURB DROP CENTERED ON STA 111+65.79, 31.91' LT FOR FUTURE 5' SIDEWALK CONSTRUCTION.



GENERAL NOTES

ALTERNATING TRANSVERSE JOINTS SHALL MATCH EXISTING.

ALL TRANSVERSE ROADWAY JOINTS ARE CD TYPE UNLESS OTHERWISE NOTED.

JOINTS AT INTAKES ARE NOT SHOWN. REFER TO SHEETS B.2 - B.3 FOR JOINTING DETAILS.

DOT	STEG-SI/AR-8212(618)-SG-40	MARK	REVISION	DATE	BY
Engineer: PDU	Checked By: JWH	Scale: 1"= 20'	Field Bk:	Pg:	
Technician: DCM	Date: 12/17/2024				

Project No: 1240781

Sheet L.3

BEACH STREET PCC REHABILITATION PROJECT

GEOMETRIC, STAKING AND JOINTING INFORMATION

WEBSTER CITY, IA

**SNYDER & ASSOCIATES, INC.**

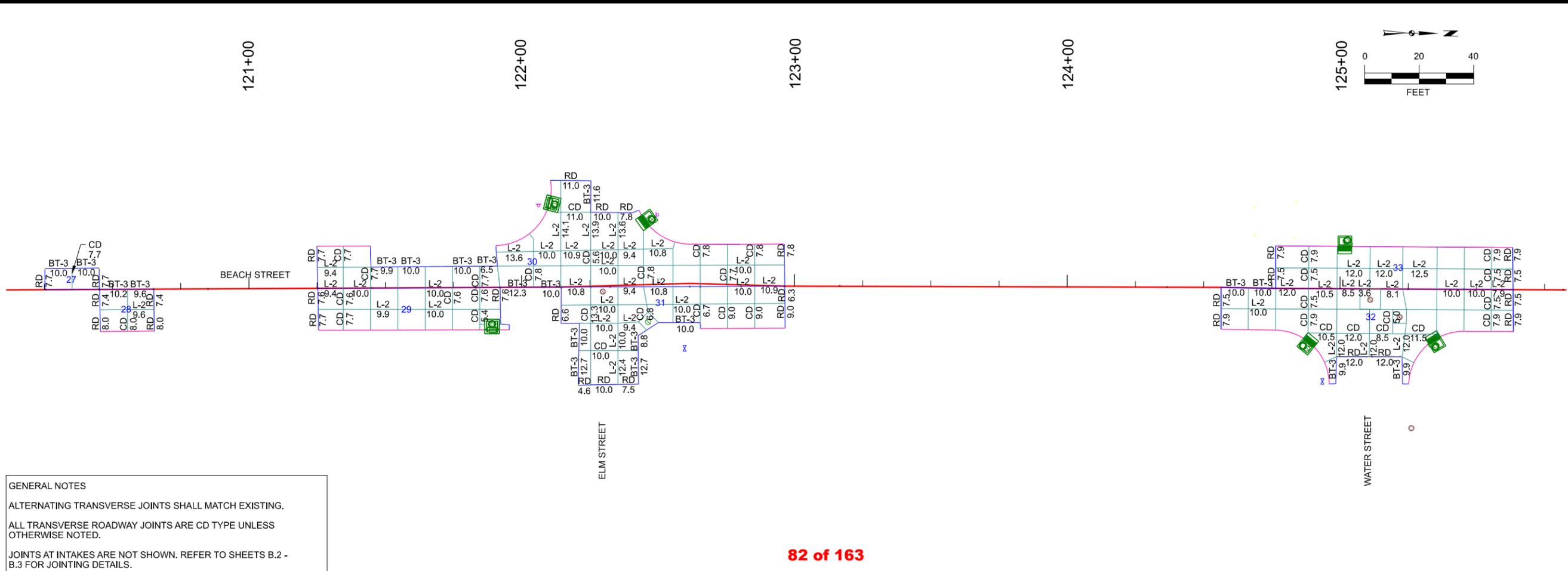
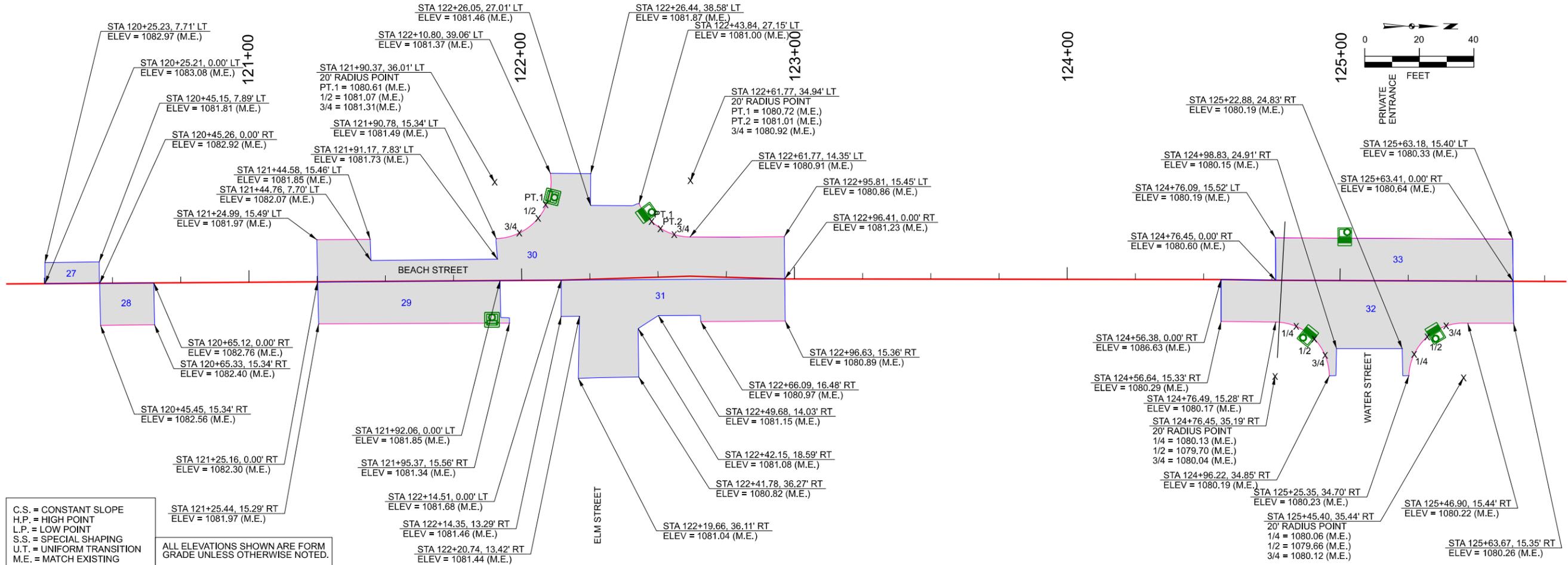
2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
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Project No: 1240781

Sheet L.3







C.S. = CONSTANT SLOPE  
 H.P. = HIGH POINT  
 L.P. = LOW POINT  
 S.S. = SPECIAL SHAPING  
 U.T. = UNIFORM TRANSITION  
 M.E. = MATCH EXISTING

ALL ELEVATIONS SHOWN ARE FORM GRADE UNLESS OTHERWISE NOTED.

GENERAL NOTES

ALTERNATING TRANSVERSE JOINTS SHALL MATCH EXISTING.

ALL TRANSVERSE ROADWAY JOINTS ARE CD TYPE UNLESS OTHERWISE NOTED.

JOINTS AT INTAKES ARE NOT SHOWN. REFER TO SHEETS B.2 - B.3 FOR JOINTING DETAILS.

DOT	STEG-SIAP-8212(618)-SG-40
MARK	REVISION
Engineer: PDJ	Checked By: JWH
Technician: DCM	Date: 12/17/2024
Scale: 1"= 20'	Field Bk: Pgs:
Project No: 1240781	
Sheet L.5	

**BEACH STREET PCC REHABILITATION PROJECT**

GEOMETRIC, STAKING AND JOINTING INFORMATION

**SNYDER & ASSOCIATES, INC.**

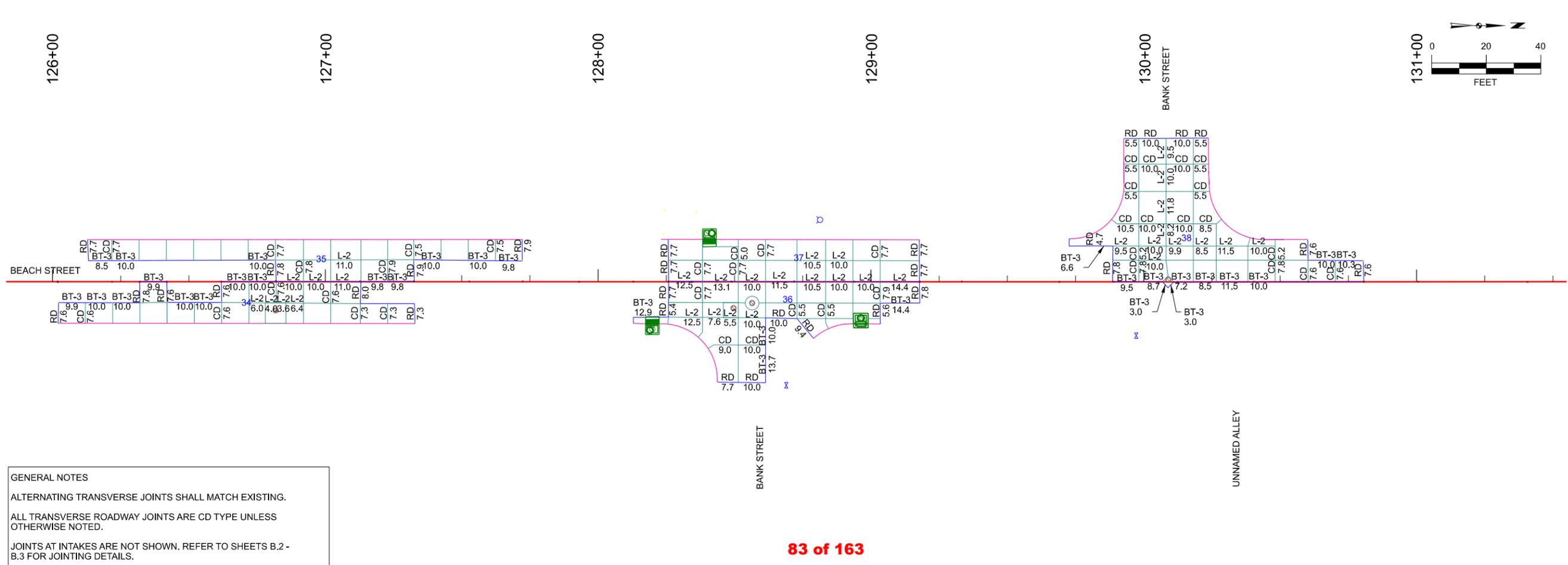
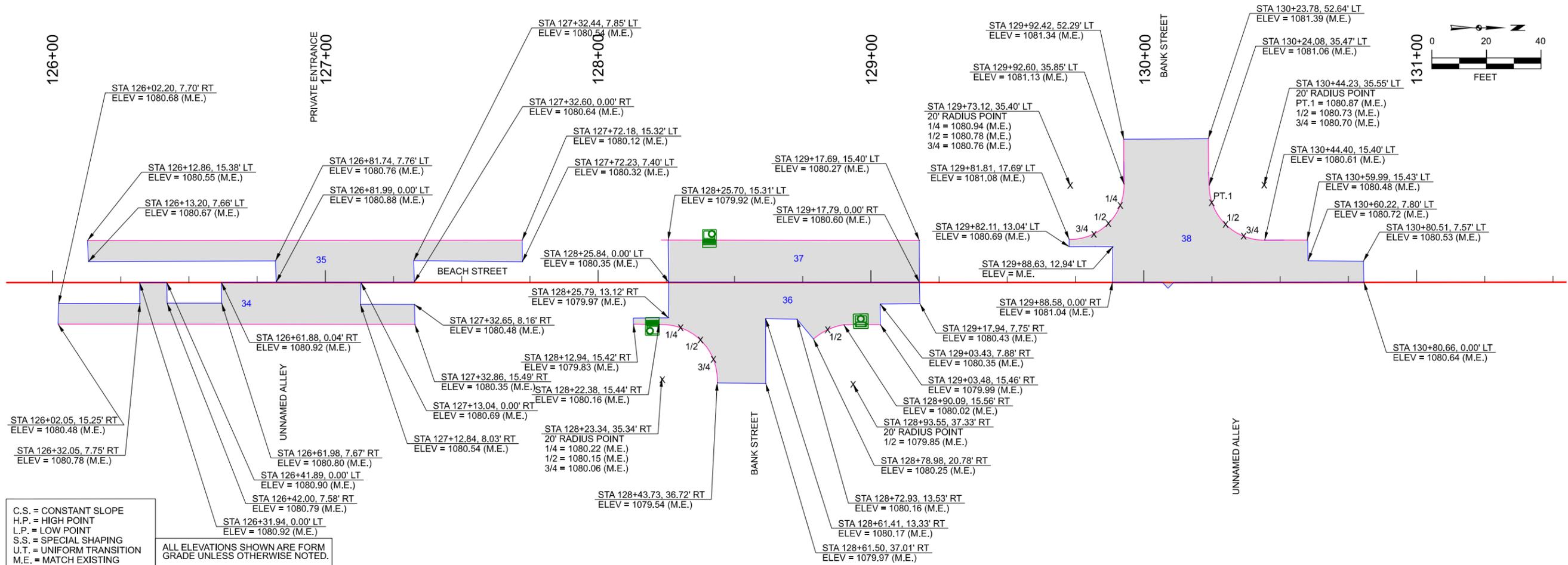
WEBSTER CITY, IA

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 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

Project No: 1240781

Sheet L.5

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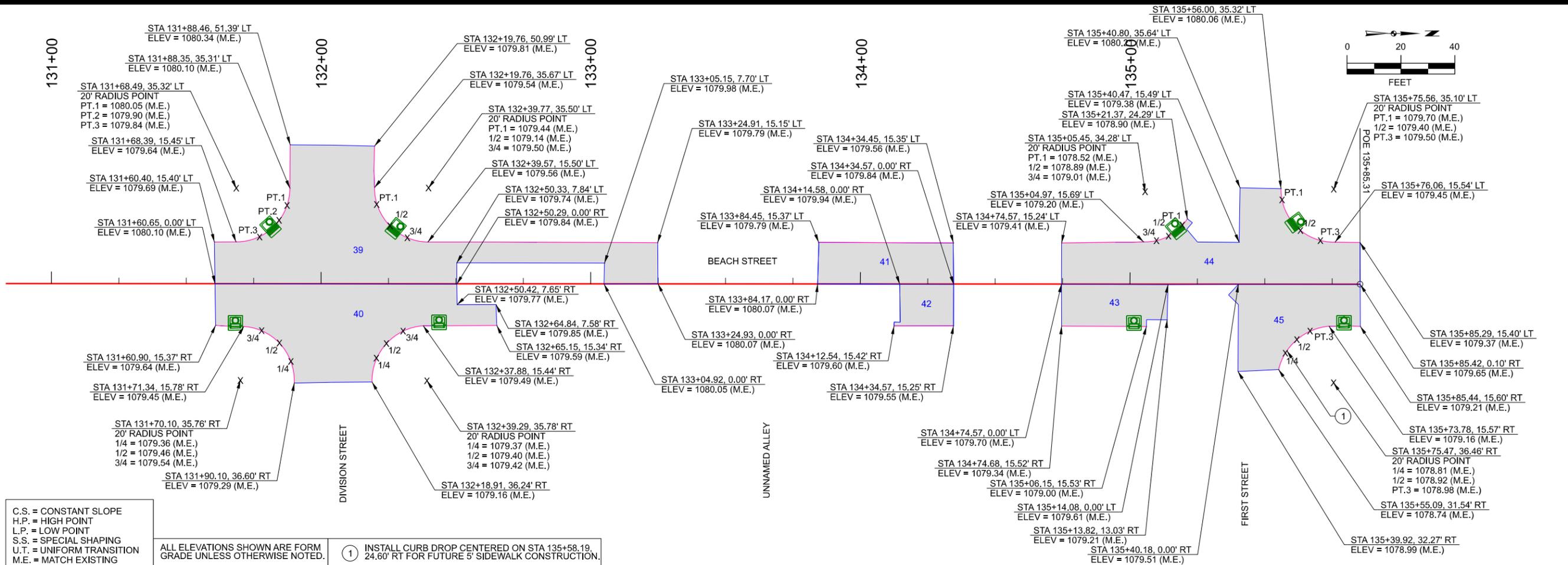


**GENERAL NOTES**  
ALTERNATING TRANSVERSE JOINTS SHALL MATCH EXISTING.  
ALL TRANSVERSE ROADWAY JOINTS ARE CD TYPE UNLESS OTHERWISE NOTED.  
JOINTS AT INTAKES ARE NOT SHOWN. REFER TO SHEETS B.2 - B.3 FOR JOINTING DETAILS.

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		Technician: DCM	Date: 12/17/2024	Field Bk:	Pg:

**BEACH STREET PCC REHABILITATION PROJECT**  
GEOMETRIC, STAKING AND JOINTING INFORMATION  
**SNYDER & ASSOCIATES, INC.**  
WEBSTER CITY, IA  
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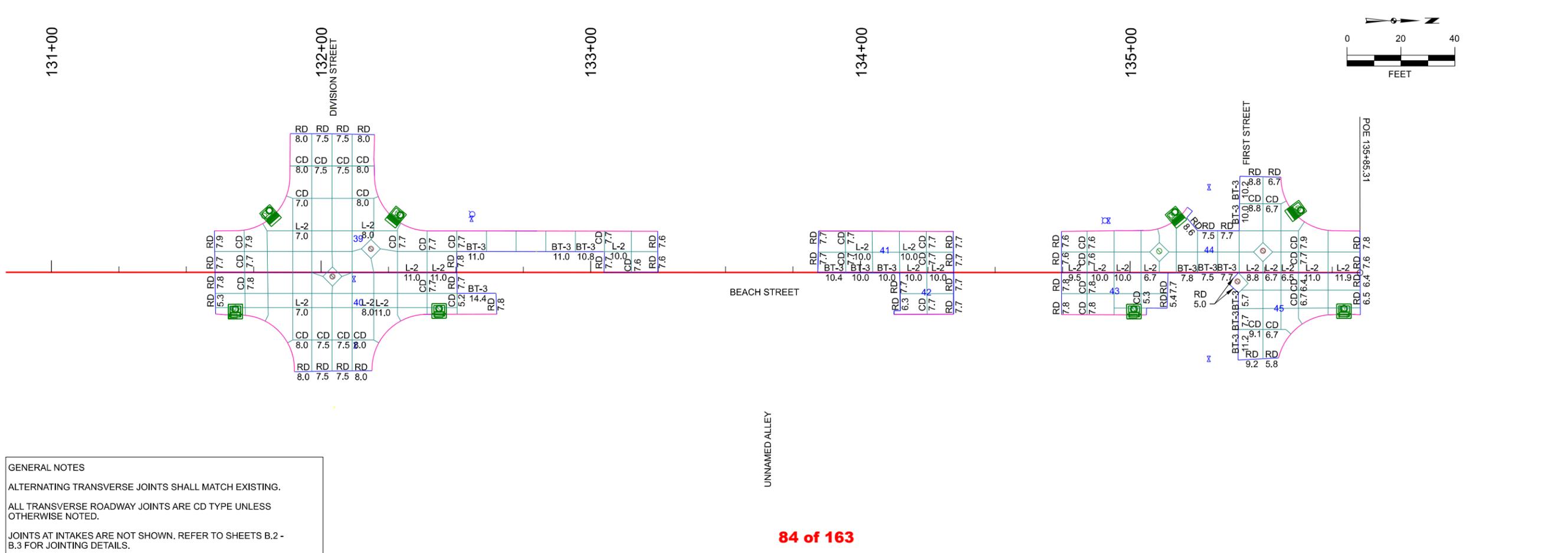
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Sheet L.6



C.S. = CONSTANT SLOPE  
 H.P. = HIGH POINT  
 L.P. = LOW POINT  
 S.S. = SPECIAL SHAPING  
 U.T. = UNIFORM TRANSITION  
 M.E. = MATCH EXISTING

ALL ELEVATIONS SHOWN ARE FORM GRADE UNLESS OTHERWISE NOTED.

1 INSTALL CURB DROP CENTERED ON STA 135+58.19, 24.60' RT FOR FUTURE 5' SIDEWALK CONSTRUCTION.



GENERAL NOTES

ALTERNATING TRANSVERSE JOINTS SHALL MATCH EXISTING.

ALL TRANSVERSE ROADWAY JOINTS ARE CD TYPE UNLESS OTHERWISE NOTED.

JOINTS AT INTAKES ARE NOT SHOWN. REFER TO SHEETS B.2 - B.3 FOR JOINTING DETAILS.

DOT	STEG-SHAP-8212(618)-SG-40	MARK	REVISION	DATE	BY
Engineer	PDU	Checked By	JWH	Scale	1" = 20'
Technician	DCM	Date	12/17/2024	Field Bk.	Pg.
					Project No: 1240781
					Sheet L.7

**BEACH STREET PCC REHABILITATION PROJECT**

GEOMETRIC, STAKING AND JOINTING INFORMATION

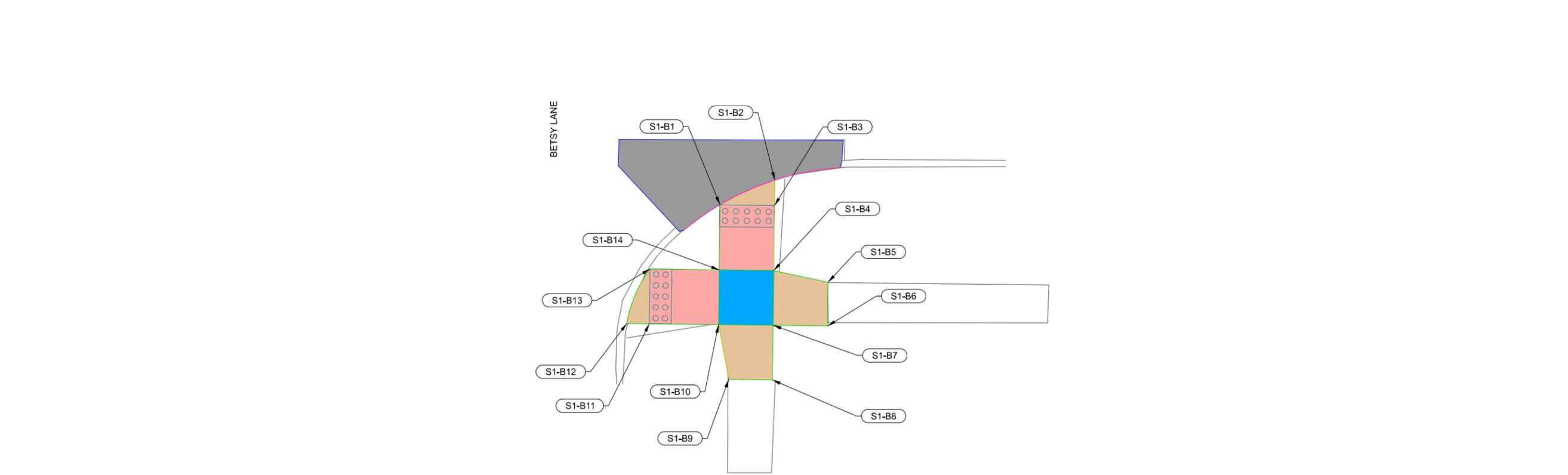
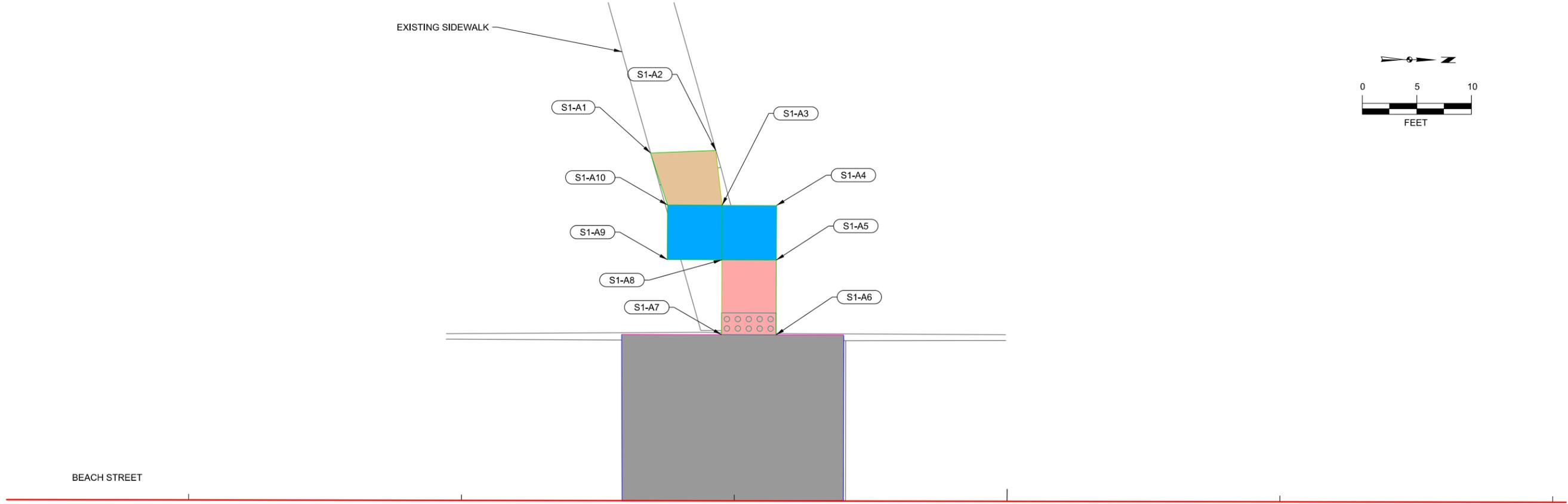
WEBSTER CITY, IA

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Project No: 1240781

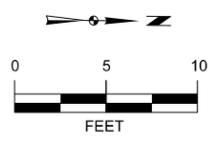
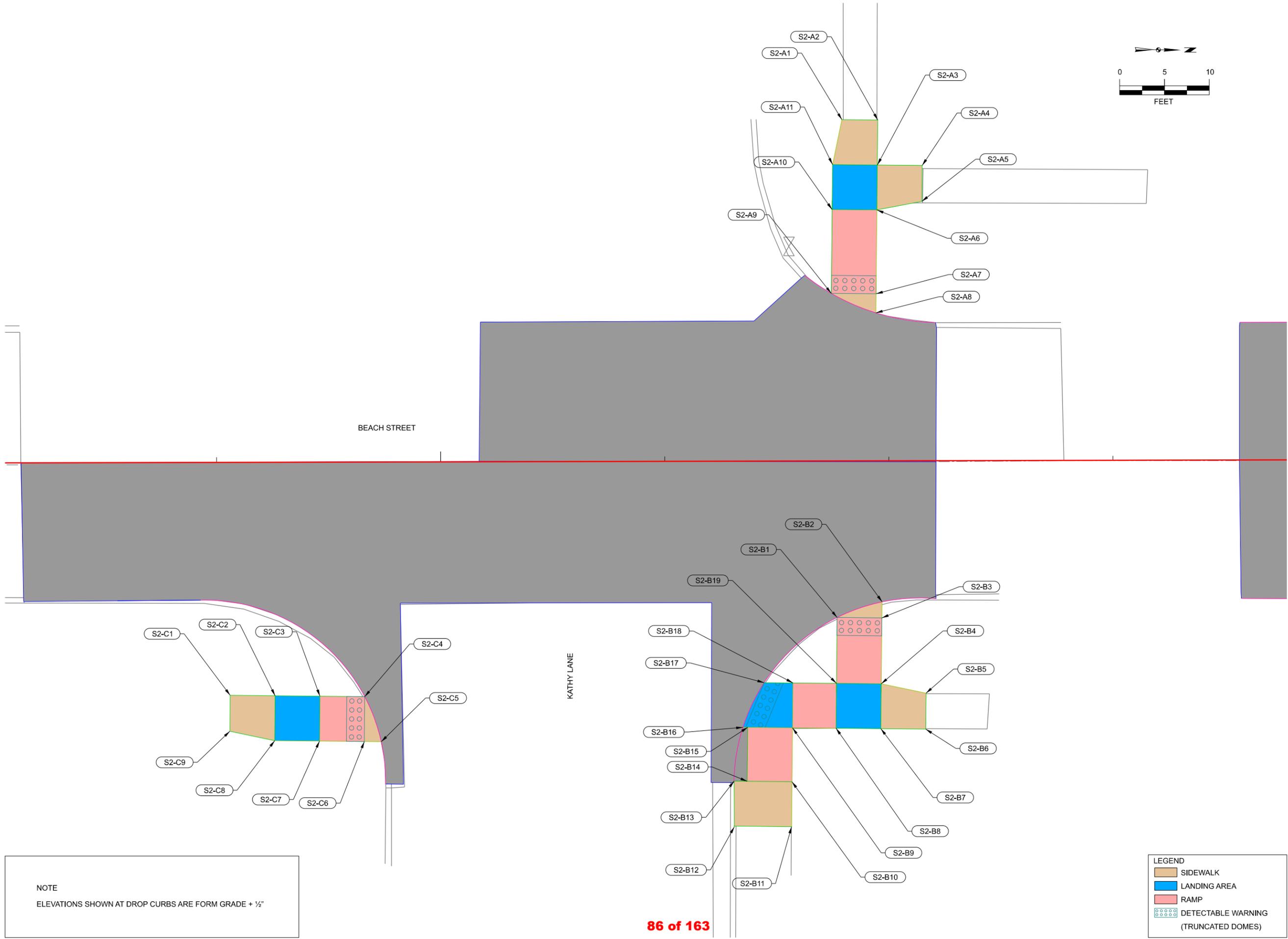
Sheet L.7



NOTE  
 ELEVATIONS SHOWN AT DROP CURBS ARE FORM GRADE + 1/2"

LEGEND	
	SIDEWALK
	LANDING AREA
	RAMP
	DETECTABLE WARNING (TRUNCATED DOMES)

<b>BEACH STREET PCC REHABILITATION PROJECT</b>	
SIDEWALK LAYOUT AND COMPLIANCE INFORMATION	WEBSTER CITY, IA
<b>SNYDER &amp; ASSOCIATES, INC.</b>	
2727 SW SNYDER BLVD ANKENY, IOWA 50023 515-964-2020   WWW.SNYDER-ASSOCIATES.COM	
Project No: 1240781 Sheet S.1	Project No: 1240781 Sheet S.1



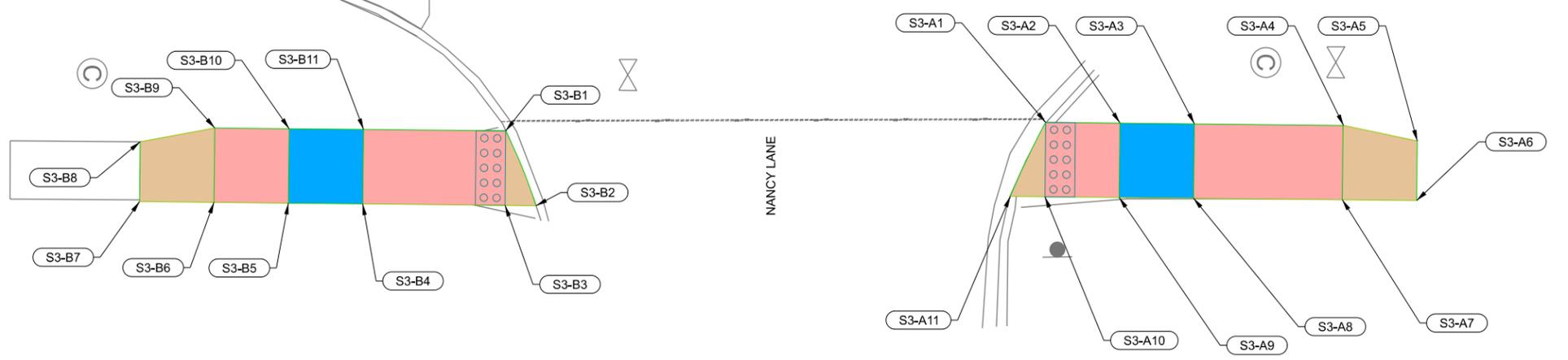
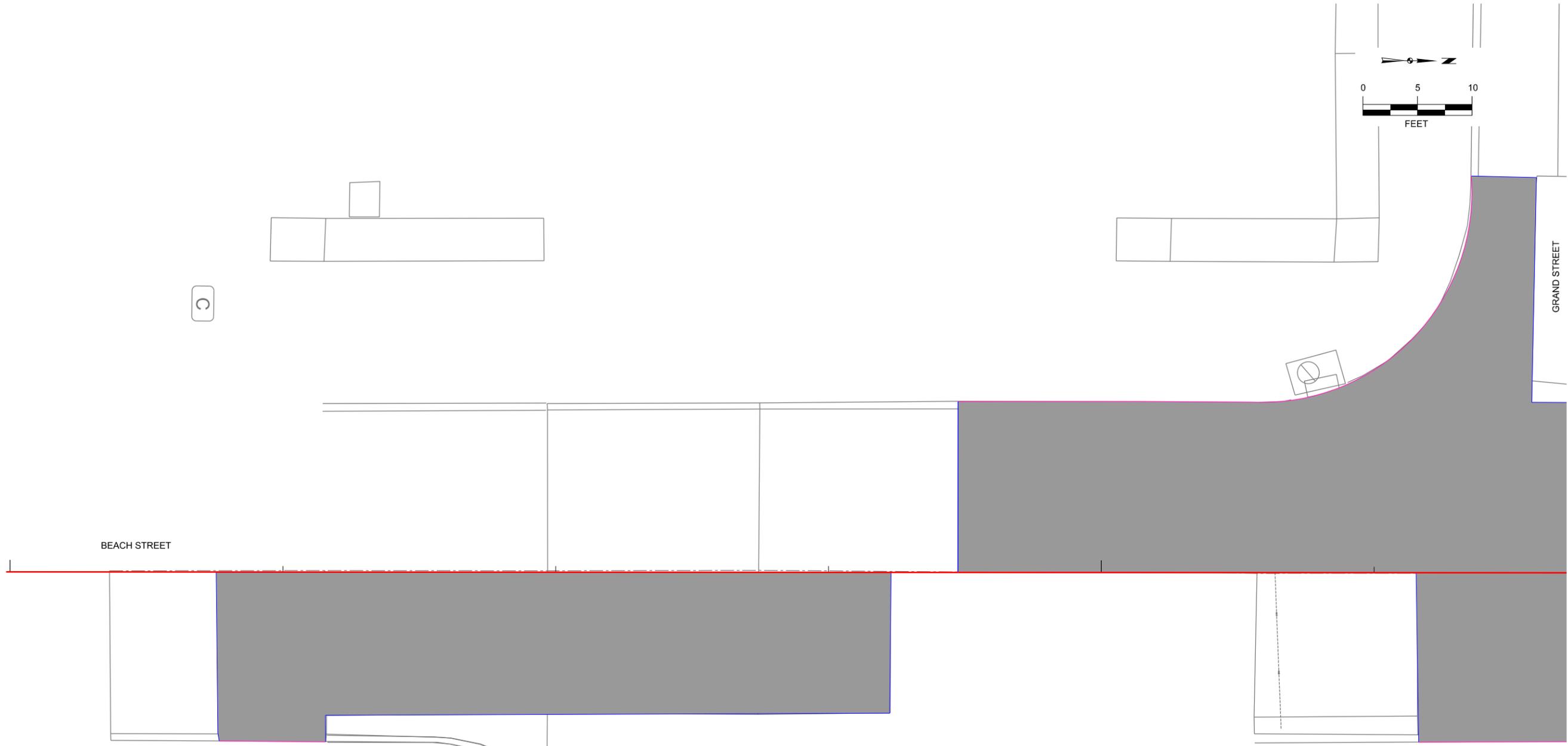
**NOTE**  
 ELEVATIONS SHOWN AT DROP CURBS ARE FORM GRADE + 1/2"

LEGEND	
	SIDEWALK
	LANDING AREA
	RAMP
	DETECTABLE WARNING (TRUNCATED DOMES)

MARK	REVISION	DATE	BY
Engineer: PDU	Checked By: JWH	Scale: 1"= 5'	
Technician: DCM	Date: 12/17/2024	Field Bk:	Pg:
Project No: 1240781			Sheet S.2

**BEACH STREET PCC REHABILITATION PROJECT**  
 SIDEWALK LAYOUT AND COMPLIANCE INFORMATION  
 WEBSTER CITY, IA  
**SNYDER & ASSOCIATES, INC.**  
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Project No: 1240781  
 Sheet S.2



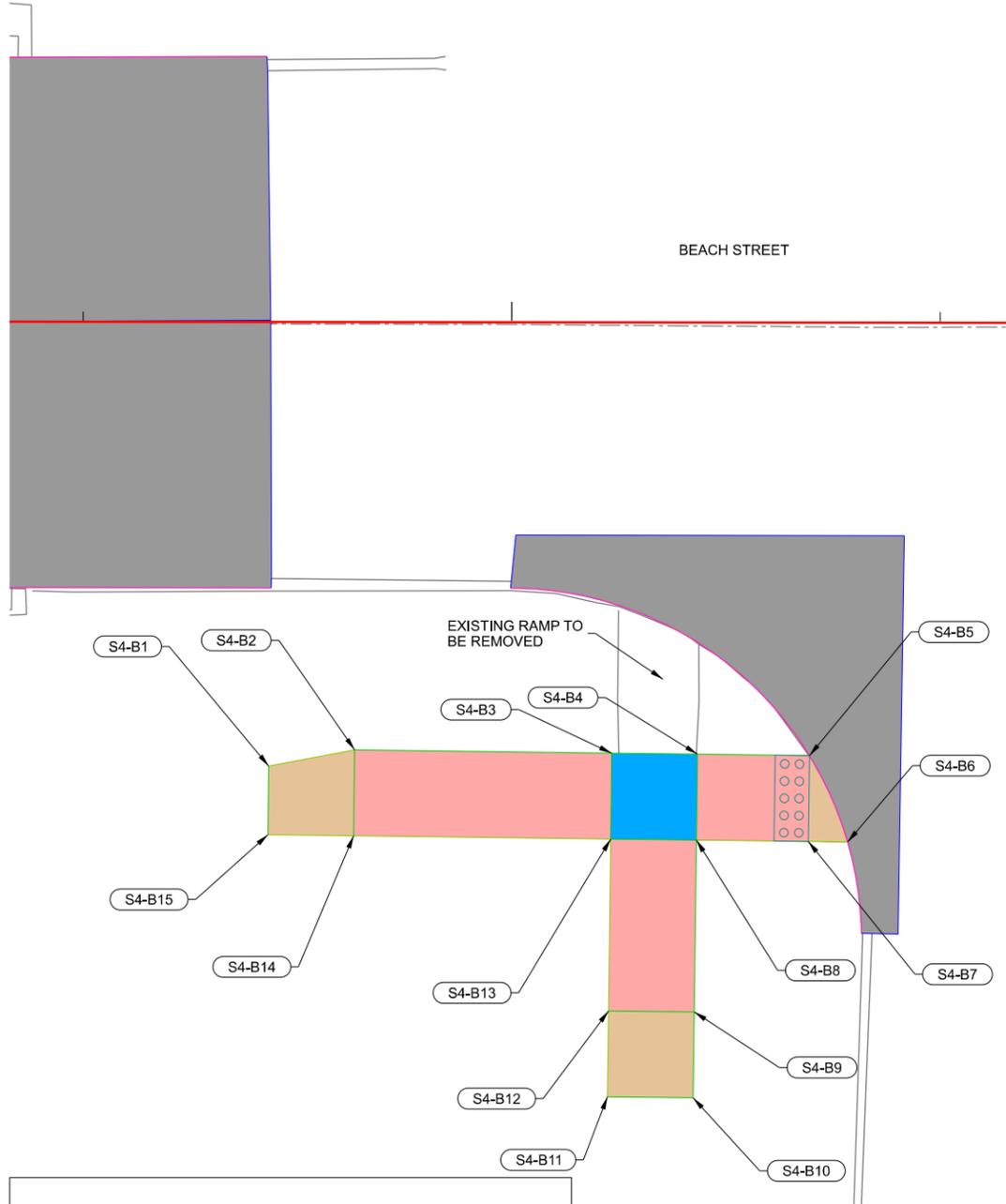
NOTE  
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LEGEND	
	SIDEWALK
	LANDING AREA
	RAMP
	DETECTABLE WARNING (TRUNCATED DOMES)

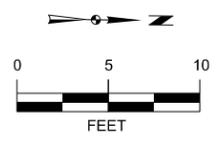
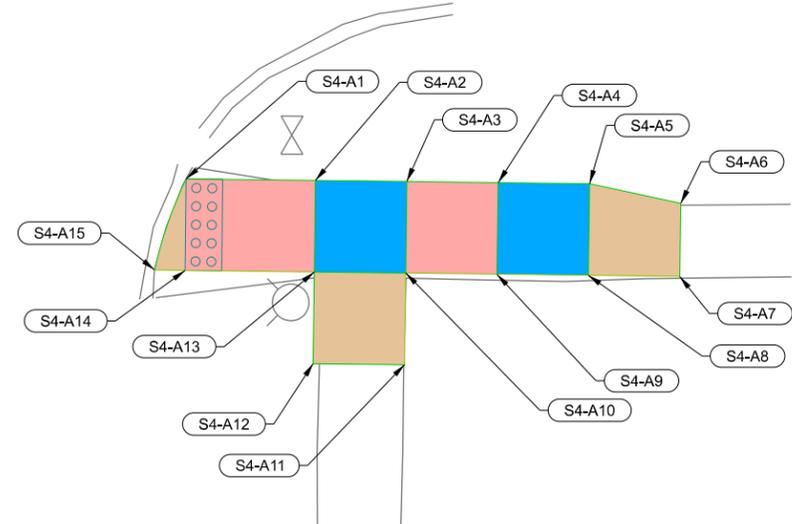
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Technician: DCM	Date: 12/17/2024
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Project No: 1240781	
Sheet S.3	

**BEACH STREET PCC REHABILITATION PROJECT**  
 SIDEWALK LAYOUT AND COMPLIANCE INFORMATION  
 WEBSTER CITY, IA  
**SNYDER & ASSOCIATES, INC.**  
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 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

Project No: 1240781  
 Sheet S.3



MARY LANE



NOTE  
 ELEVATIONS SHOWN AT DROP CURBS ARE FORM GRADE + 1/2"

LEGEND	
	SIDEWALK
	LANDING AREA
	RAMP
	DETECTABLE WARNING (TRUNCATED DOMES)

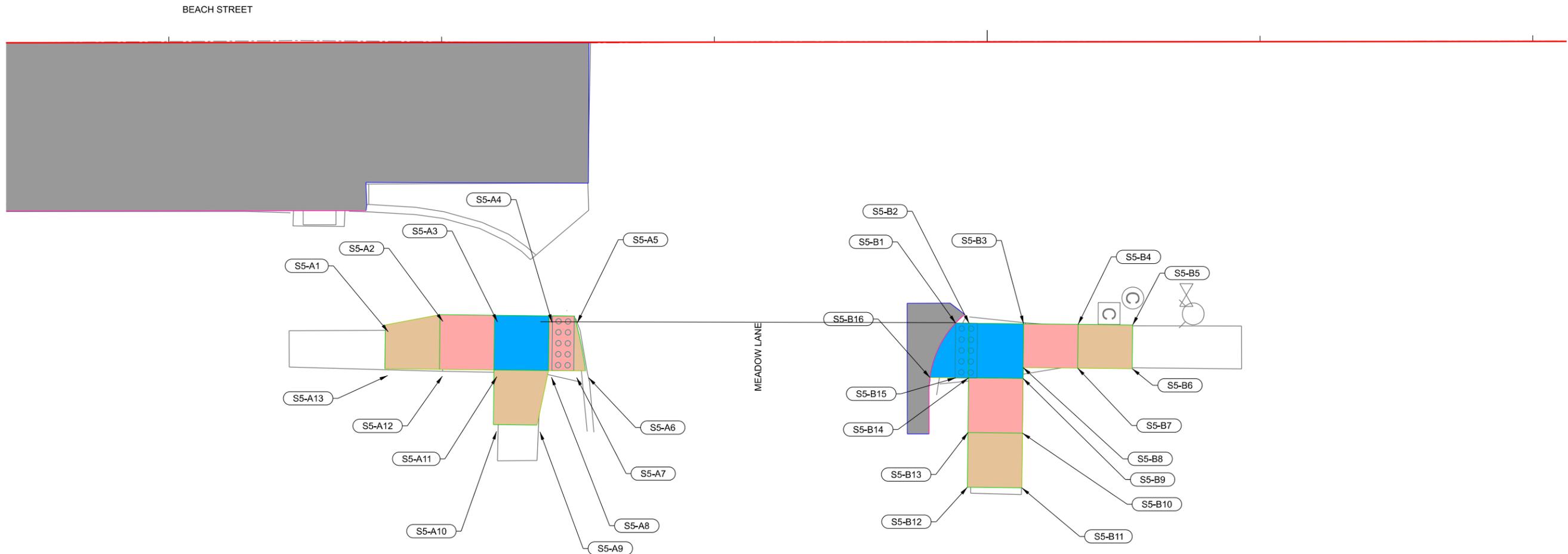
**BEACH STREET PCC REHABILITATION PROJECT**  
 SIDEWALK LAYOUT AND COMPLIANCE INFORMATION WEBSTER CITY, IA  
**SNYDER & ASSOCIATES, INC.**

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MARK	REVISION
Engineer: PDU	Checked By: JWH
Technician: DCM	Date: 12/17/2024
Scale: 1"= 5'	Field Bk: Pg:
Project No: 1240781	
Sheet S.4	

Project No: 1240781  
 Sheet S.4

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 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM



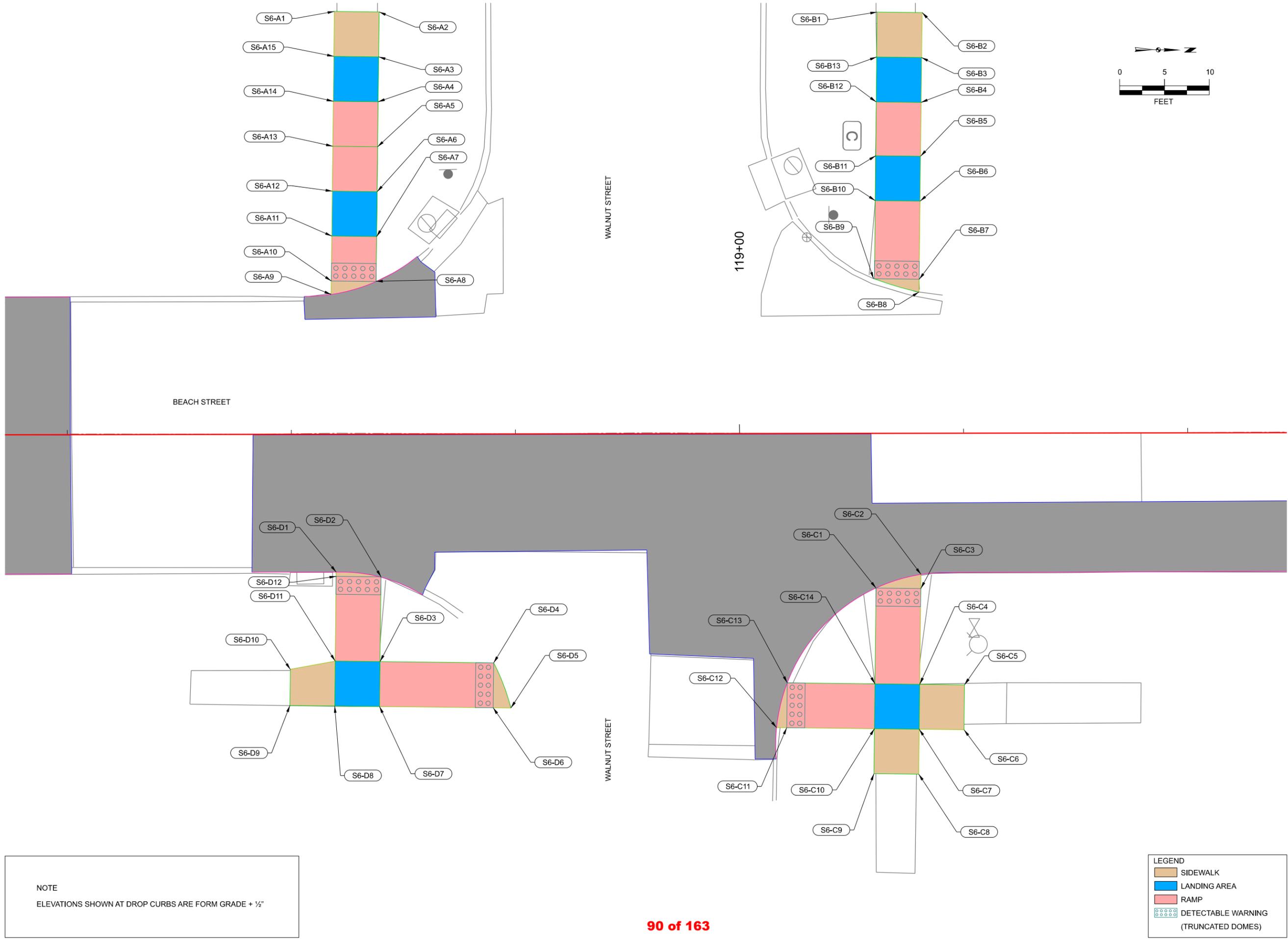


NOTE  
 ELEVATIONS SHOWN AT DROP CURBS ARE FORM GRADE + 1/2"

LEGEND

	SIDEWALK
	LANDING AREA
	RAMP
	DETECTABLE WARNING (TRUNCATED DOMES)

<h2 style="margin: 0;">BEACH STREET PCC REHABILITATION PROJECT</h2>		<p>Project No: 1240781</p> <p>Sheet S.5</p>						
<h3 style="margin: 0;">SIDEWALK LAYOUT AND COMPLIANCE INFORMATION</h3>		<p>Project No: 1240781</p> <p>Sheet S.5</p>						
<h2 style="margin: 0;">SNYDER &amp; ASSOCIATES, INC.</h2>		<p>Project No: 1240781</p> <p>Sheet S.5</p>						
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REVISION	DATE	BY						



NOTE  
 ELEVATIONS SHOWN AT DROP CURBS ARE FORM GRADE + 1/2"

LEGEND	
	SIDEWALK
	LANDING AREA
	RAMP
	DETECTABLE WARNING (TRUNCATED DOMES)

DOT   ST6G-SWAP-8212(618)-SG-40		MARK	REVISION	DATE	BY
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		Technician: DCM	Date: 12/17/2024	Field Bk:	Pg:
Project No: 1240781					Sheet S.6

<b>BEACH STREET PCC REHABILITATION PROJECT</b>	
SIDEWALK LAYOUT AND COMPLIANCE INFORMATION	WEBSTER CITY, IA

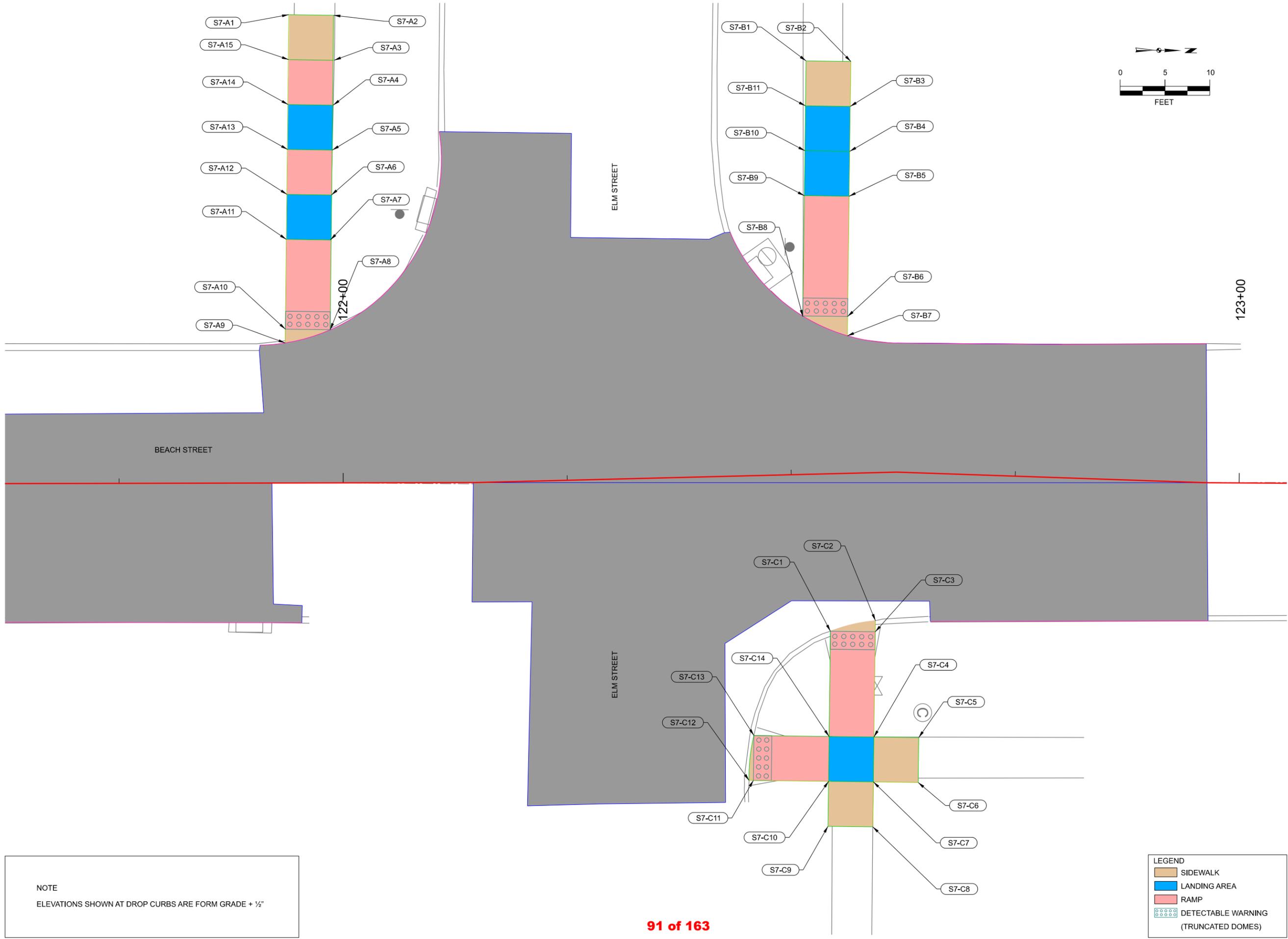
  

<b>SNYDER &amp; ASSOCIATES, INC.</b>	2727 SW SNYDER BLVD ANKENY, IOWA 50023 515-964-2020   WWW.SNYDER-ASSOCIATES.COM
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Project No: 1240781
Sheet S.6

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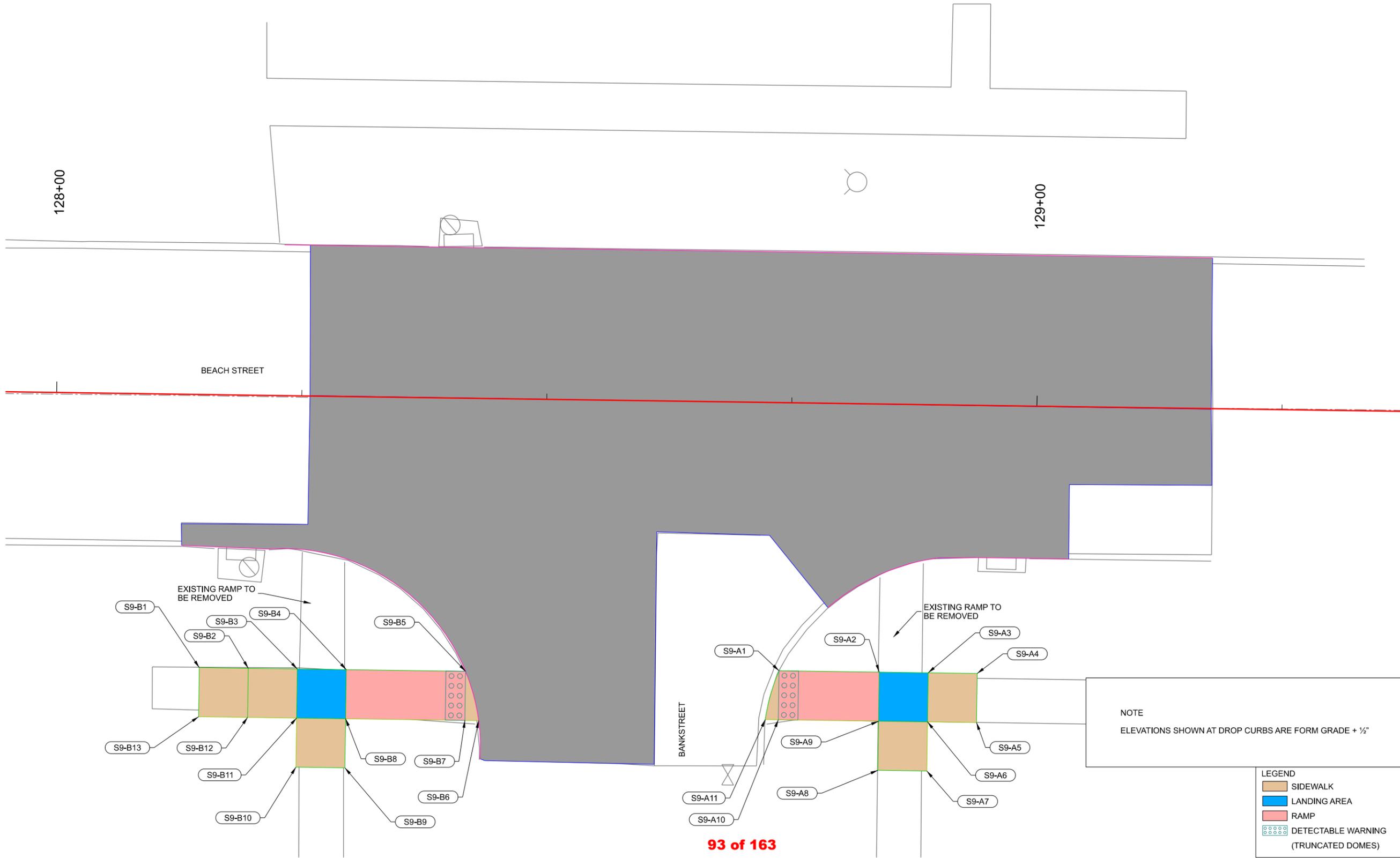
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MARK	REVISION
Engineer: PDU	Checked By: JWH
Technician: DCM	Date: 12/17/2024
Field Bk:	Pg:
Project No: 1240781	
Sheet S.7	

**BEACH STREET PCC REHABILITATION PROJECT**  
 SIDEWALK LAYOUT AND COMPLIANCE INFORMATION  
 WEBSTER CITY, IA  
**SNYDER & ASSOCIATES, INC.**  
 2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

Project No: 1240781  
 Sheet S.7





NOTE  
 ELEVATIONS SHOWN AT DROP CURBS ARE FORM GRADE + 1/2"

LEGEND

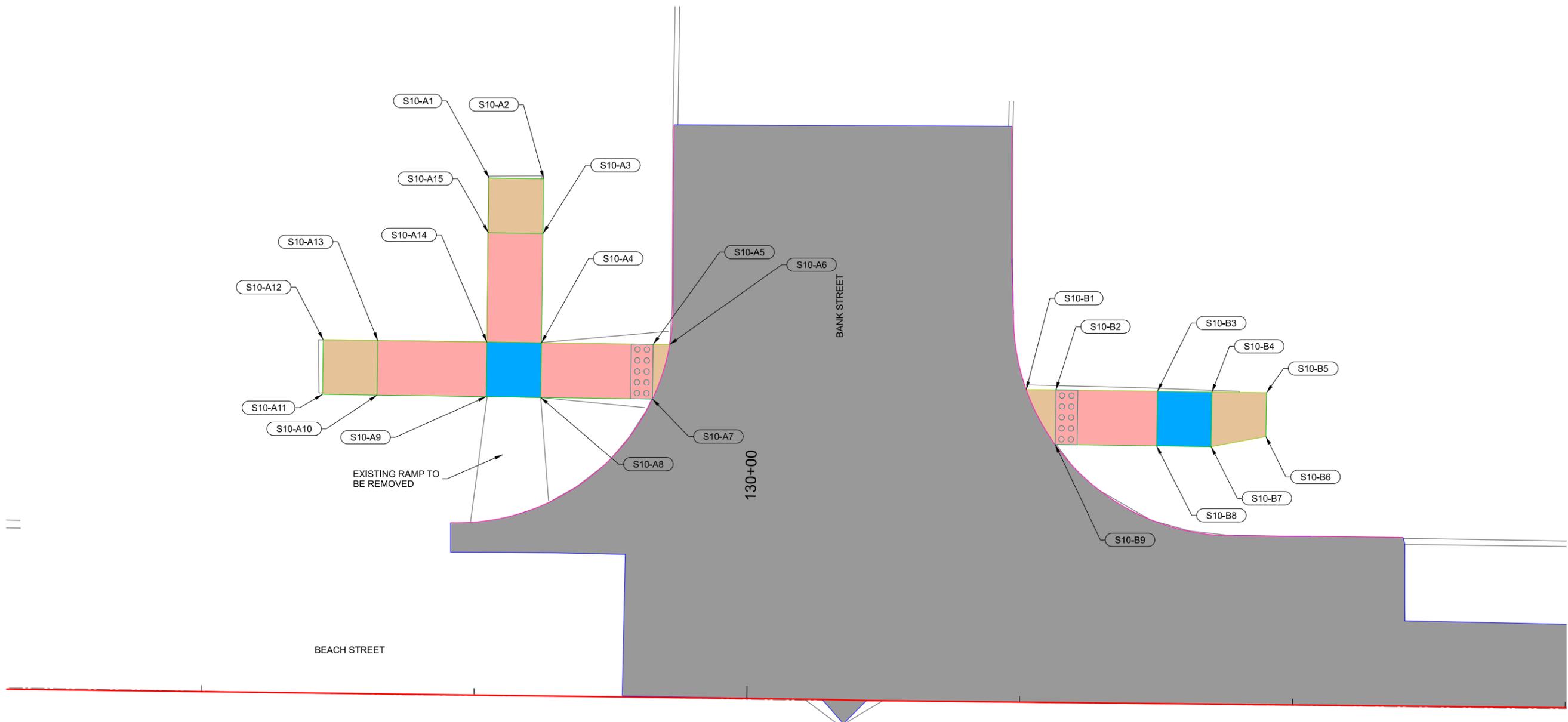
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	LANDING AREA
	RAMP
	DETECTABLE WARNING (TRUNCATED DOMES)

**BEACH STREET PCC REHABILITATION PROJECT**  
 SIDEWALK LAYOUT AND COMPLIANCE INFORMATION WEBSTER CITY, IA  
**SNYDER & ASSOCIATES, INC.**

MARK	REVISION	DATE	BY
Engineer: PDU	Checked By: JWH	Scale: 1"= 5'	
Technician: DCM	Date: 12/17/2024	Field Bk:	Pg:
Project No: 1240781			Sheet S.9

2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

Project No: 1240781  
 Sheet S.9



NOTE  
ELEVATIONS SHOWN AT DROP CURBS ARE FORM GRADE + 1/2"

LEGEND	
	SIDEWALK
	LANDING AREA
	RAMP
	DETECTABLE WARNING (TRUNCATED DOMES)

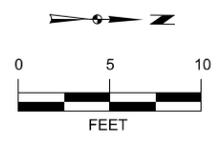
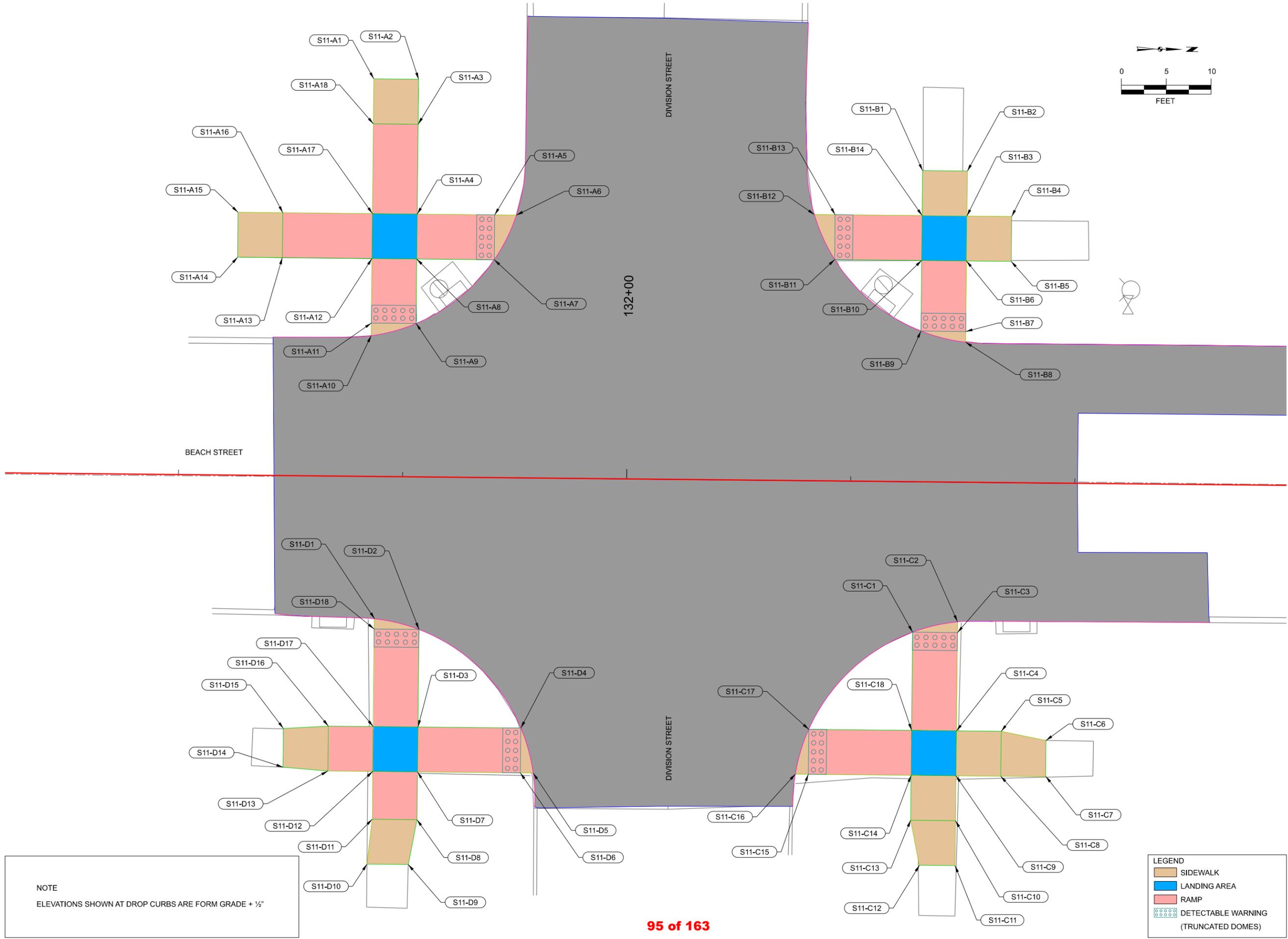
**BEACH STREET PCC REHABILITATION PROJECT**  
**SIDEWALK LAYOUT AND COMPLIANCE INFORMATION**

WEBSTER CITY, IA  
 SNYDER & ASSOCIATES, INC.  
 2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
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DOT	STBG-SWAP-8212(618)-SG-40
MARK	REVISION
Engineer: PDU	Checked By: JWH
Technician: DCM	Date: 12/17/2024
Scale: 1"= 5'	Field Bk: Pgs:
Project No: 1240781	
Sheet S.10	

Project No: 1240781  
 Sheet S.10

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 DOT | STBG-SWAP-8212(618)-SG-40



NOTE  
 ELEVATIONS SHOWN AT DROP CURBS ARE FORM GRADE + 1/2"

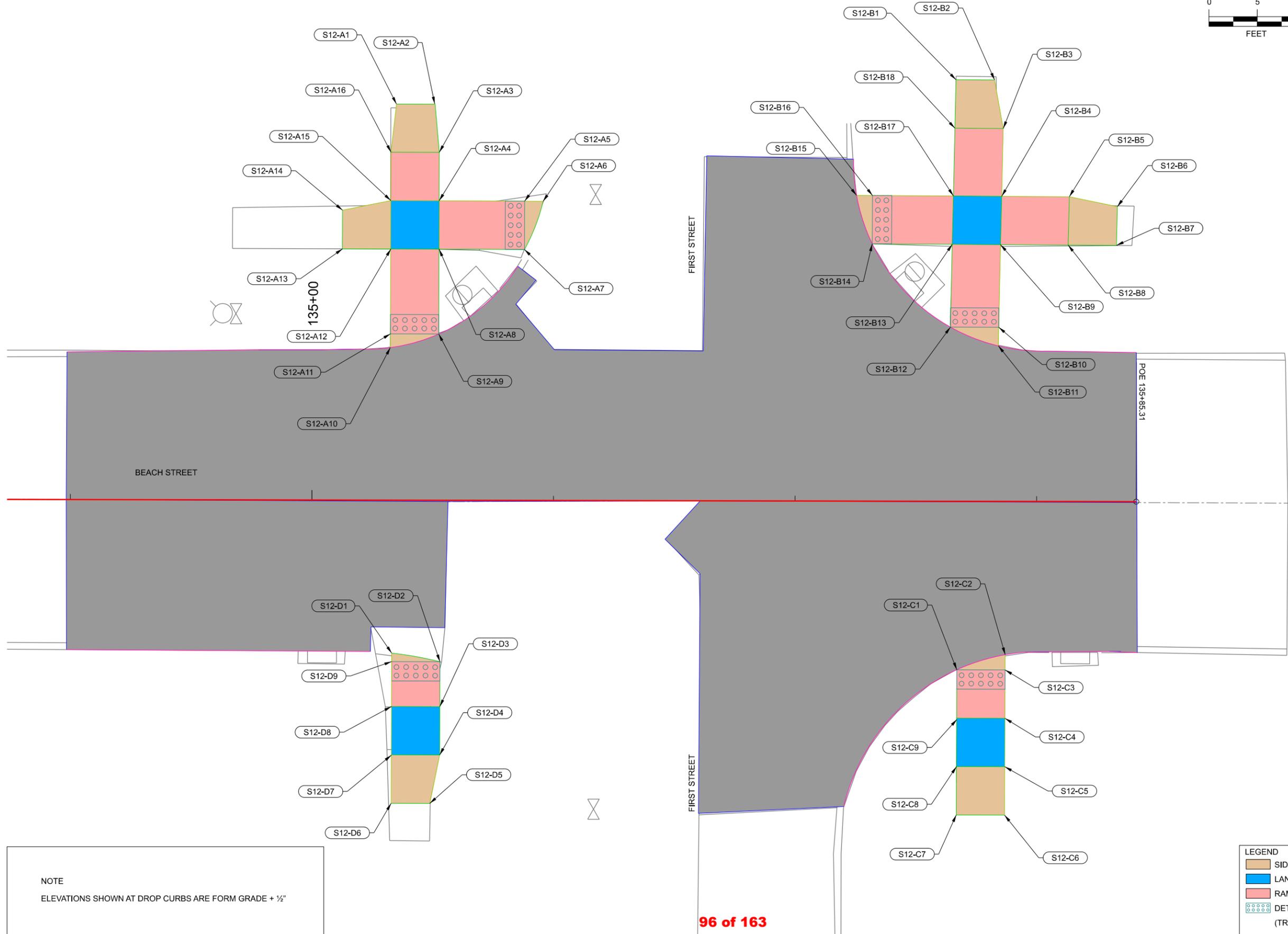
LEGEND

- SIDEWALK
- LANDING AREA
- RAMP
- DETECTABLE WARNING (TRUNCATED DOMES)

<h2 style="margin: 0;">BEACH STREET PCC REHABILITATION PROJECT</h2>		<p>2727 SW SNYDER BLVD          ANKENY, IOWA 50023          515-964-2020   WWW.SNYDER-ASSOCIATES.COM</p>
<h3 style="margin: 0;">SIDEWALK LAYOUT AND COMPLIANCE INFORMATION</h3>		<p>WEBSTER CITY, IA</p>
<h1 style="margin: 0;">SNYDER &amp; ASSOCIATES, INC.</h1>		<p>Project No: 1240781</p>
<p>Sheet S.11</p>		<p>Sheet S.11</p>

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LEGEND	
	SIDEWALK
	LANDING AREA
	RAMP
	DETECTABLE WARNING (TRUNCATED DOMES)

DOT	STEG-SWAP-8212(618)-SG-40
MARK	
Engineer: PDU	Checked By: JWH
Technician: DCM	Date: 12/17/2024
Scale: 1"= 5'	Field Bk: Pg:
REVISION	DATE
BY	
Project No: 1240781	Sheet S.12

**BEACH STREET PCC REHABILITATION PROJECT**  
**SIDEWALK LAYOUT AND COMPLIANCE INFORMATION**  
**WEBSTER CITY, IA**  
**SNYDER & ASSOCIATES, INC.**  
 2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM



Project No: 1240781  
 Sheet S.12



# SIDEWALK COMPLIANCE

See S Sheets

113-10  
04-18-17

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	" PCC Sidewalk	Distance*	Δ Elevation	Slope	Acceptable Constructed Range	Staking Required on this Quadrant? ①	Measured Slope	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES				
											Point	Station	Offset	Elevation	
											FT	FT	%	Pos. or Neg.	
S1-A1	S1-A2	Match Existing Cross Slope	5.97	-0.01	-0.2%	Match Existing					S1-A1	105+67.40	-31.84	1092.18	
S1-A2	S1-A3	Sidewalk Running Slope	5.05	-0.08	-1.6%	0.5% to 5%					S1-A2	105+73.37	-32.07	1092.17	
S1-A3	S1-A10	Landing/Turning Space	5.00	-0.06	-1.2%	0.1% to 2%					S1-A3	105+73.94	-27.05	1092.09	
S1-A3	S1-A8	Landing/Turning Space	5.00	-0.06	-1.2%	0.1% to 2%					S1-A4	105+78.94	-27.02	1092.16	
S1-A3	S1-A4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S1-A5	105+78.91	-22.02	1092.10	
S1-A4	S1-A5	Landing/Turning Space	5.00	-0.06	-1.2%	0.1% to 2%					S1-A6	105+78.86	-15.18	1091.85	
S1-A5	S1-A8	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S1-A7	105+73.86	-15.21	1091.83	
S1-A5	S1-A6	Ramp Running Slope	6.84	-0.25	-3.7%	0.5% to 8.3%					S1-A8	105+73.91	-22.05	1092.03	
S1-A6	S1-A7	Crosswalk Cross Slope - No Yield Condition	5.00	-0.02	-0.4%	0% to 5%					S1-A9	105+68.91	-22.08	1091.96	
S1-A7	S1-A8	Ramp Running Slope	6.84	0.20	2.9%	0.5% to 8.3%					S1-A10	105+68.94	-27.08	1092.03	
S1-A8	S1-A9	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S1-B1	105+73.63	19.02	1091.59	
S1-A9	S1-A10	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S1-B2	105+78.68	16.77	1091.64	
S1-A1	S1-A10	Sidewalk Running Slope	5.00	-0.15	-3.0%	0.5% to 5%					S1-B3	105+78.63	19.09	1091.62	
S1-A8	S1-A3	Landing/Turning Space	5.00	0.06	1.2%	0.1% to 2%					S1-B4	105+78.56	25.04	1091.71	
S1-A8	S1-A1	Sidewalk Running Slope	5.00	0.15	3.0%	0.5% to 5%					S1-B5	105+83.54	26.11	1091.63	
S1-B1	S1-B2	Crosswalk Cross Slope - No Yield Condition	5.54	0.05	0.9%	0% to 5%					S1-B6	105+83.48	30.11	1091.67	
S1-B2	S1-B3	Sidewalk Running Slope	2.32	-0.02	-0.9%	0.5% to 5%					S1-B7	105+78.50	30.04	1091.64	
S1-B3	S1-B1	Ramp Cross Slope	5.00	-0.03	-0.6%	0.1% to 2%					S1-B8	105+78.42	35.04	1091.80	
S1-B3	S1-B4	Ramp Running Slope	5.95	0.09	1.5%	0.5% to 8.3%					S1-B9	105+74.42	34.98	1091.78	
S1-B4	S1-B5	Sidewalk Running Slope	5.10	-0.08	-1.6%	0.5% to 5%					S1-B10	105+73.50	29.97	1091.59	
S1-B5	S1-B6	Match Existing Cross Slope	4.00	0.04	1.0%	Match Existing					S1-B11	105+67.15	29.87	1091.17	
S1-B6	S1-B7	Sidewalk Running Slope	5.00	-0.03	-0.6%	0.5% to 5%					S1-B12	105+65.08	29.85	1091.13	
S1-B7	S1-B4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S1-B13	105+67.22	24.87	1091.22	
S1-B7	S1-B8	Sidewalk Running Slope	5.00	0.16	3.2%	0.5% to 5%					S1-B14	105+73.56	24.97	1091.66	
S1-B8	S1-B9	Match Existing Cross Slope	4.00	-0.02	-0.5%	Match Existing									
S1-B9	S1-B10	Sidewalk Running Slope	5.10	-0.19	-3.7%	0.5% to 5%									
S1-B10	S1-B7	Landing/Turning Space	5.00	0.05	1.0%	0.1% to 2%									
S1-B10	S1-B11	Ramp Running Slope	6.35	-0.42	-6.6%	0.5% to 8.3%									
S1-B11	S1-B12	Sidewalk Running Slope	2.06	-0.04	-1.9%	0.5% to 5%									
S1-B12	S1-B13	Crosswalk Cross Slope - Yield Condition	5.46	0.09	1.6%	0% to 2%									
S1-B13	S1-B11	Ramp Cross Slope	5.00	-0.05	-1.0%	0.1% to 2%									
S1-B13	S1-B14	Ramp Running Slope	6.35	0.44	6.9%	0.5% to 8.3%									
S1-B14	S1-B10	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S1-B14	S1-B4	Landing/Turning Space	5.00	0.05	1.0%	0.1% to 2%									
S1-B14	S1-B1	Ramp Running Slope	5.95	-0.07	-1.2%	0.5% to 8.3%									

DOT: STBG-SIAP-8212(18)-SG-40

MARK: \_\_\_\_\_

Engineer: PDU

Technician: DCM

REVISION

Checked By: JWH

Date: 12/17/2024

DATE: 1/20

Scale: 1"= 20'

Field Bk: \_\_\_\_\_

Pg: \_\_\_\_\_

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BEACH STREET PCC REHABILITATION PROJECT

SIDEWALK LAYOUT AND COMPLIANCE INFORMATION

WEBSTER CITY, IA

SNYDER & ASSOCIATES, INC.

2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

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Project No: 1240781

Sheet S.13

Project No: 1240781

Sheet S.13

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# SIDEWALK COMPLIANCE

See 5 Sheets

113-10  
04-18-17

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES				
											Point	Station	Offset	Elevation	
S2-A1	S2-A2	Match Existing Cross Slope	4.00	0.09	2.3%	Match Existing					S2-A1	108+44.73	-38.06	1093.43	
S2-A2	S2-A3	Sidewalk Running Slope	5.00	-0.07	-1.4%	0.5% to 5%					S2-A2	108+48.73	-38.02	1093.52	
S2-A3	S2-A4	Sidewalk Running Slope	5.00	0.14	2.8%	0.5% to 5%					S2-A3	108+48.69	-33.02	1093.45	
S2-A4	S2-A5	Match Existing Cross Slope	4.00	0.00	0.0%	Match Existing					S2-A4	108+53.69	-32.98	1093.59	
S2-A5	S2-A6	Sidewalk Running Slope	5.10	-0.21	-4.1%	0.5% to 5%	Yes				S2-A5	108+53.65	-28.98	1093.59	
S2-A6	S2-A3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S2-A6	108+48.64	-28.02	1093.38	
S2-A6	S2-A7	Ramp Running Slope	9.33	-0.67	-7.2%	0.5% to 8.3%					S2-A7	108+48.56	-18.69	1092.71	
S2-A7	S2-A8	Sidewalk Running Slope	1.86	-0.03	-1.6%	0.5% to 5%					S2-A8	108+48.54	-16.57	1092.68	
S2-A8	S2-A9	Crosswalk Cross Slope - No Yield Condition	5.35	-0.04	-0.7%	0% to 5%					S2-A9	108+43.56	-18.73	1092.64	
S2-A9	S2-A7	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S2-A10	108+43.64	-28.07	1093.31	
S2-A9	S2-A10	Ramp Running Slope	9.33	0.67	7.2%	0.5% to 8.3%					S2-A11	108+43.69	-33.07	1093.38	
S2-A10	S2-A6	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S2-B1	108+44.24	17.33	1092.66	
S2-A10	S2-A11	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S2-B2	108+49.26	15.59	1092.72	
S2-A11	S2-A3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S2-B3	108+49.24	17.38	1092.73	
S2-A11	S2-A1	Sidewalk Running Slope	5.10	0.05	1.0%	0.5% to 5%					S2-B4	108+49.18	24.71	1092.58	
S2-B1	S2-B2	Crosswalk Cross Slope - No Yield Condition	5.32	0.06	1.1%	0% to 5%					S2-B5	108+54.17	25.75	1092.63	
S2-B2	S2-B3	Sidewalk Running Slope	1.79	0.01	0.6%	0.5% to 5%					S2-B6	108+54.13	29.75	1092.68	
S2-B3	S2-B4	Ramp Running Slope	7.33	-0.15	-2.0%	0.5% to 8.3%					S2-B7	108+49.13	29.71	1092.51	
S2-B4	S2-B5	Sidewalk Running Slope	5.10	0.05	1.0%	0.5% to 5%					S2-B8	108+44.13	29.66	1092.44	
S2-B5	S2-B6	Match Existing Cross Slope	4.00	0.05	1.3%	Match Existing					S2-B9	108+39.28	29.62	1092.28	
S2-B6	S2-B7	Sidewalk Running Slope	5.00	-0.17	-3.4%	0.5% to 5%					S2-B10	108+39.23	35.62	1092.46	
S2-B7	S2-B4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S2-B11	108+39.18	40.62	1092.36	
S2-B7	S2-B8	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S2-B12	108+32.72	40.56	1092.27	
S2-B8	S2-B9	Ramp Running Slope	5.00	-0.16	-3.2%	0.5% to 8.3%					S2-B13	108+32.76	35.56	1092.37	
S2-B9	S2-B10	Ramp Running Slope	6.00	0.18	3.0%	0.5% to 8.3%					S2-B14	108+34.23	35.58	1092.39	
S2-B10	S2-B11	Sidewalk Running Slope	5.00	-0.10	-2.0%	0.5% to 5%					S2-B15	108+34.28	29.58	1092.21	
S2-B11	S2-B12	Sidewalk Cross Slope	6.47	-0.09	-1.4%	0.5% to 2%					S2-B16	108+33.74	29.57	1092.20	
S2-B12	S2-B13	Sidewalk Running Slope	5.00	0.10	2.0%	0.5% to 5%					S2-B17	108+35.50	25.59	1092.30	
S2-B13	S2-B14	Sidewalk Cross Slope	1.47	0.02	1.4%	0.5% to 2%					S2-B18	108+39.32	24.62	1092.34	
S2-B14	S2-B10	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S2-B19	108+44.18	24.66	1092.51	
S2-B14	S2-B15	Ramp Running Slope	6.00	-0.18	-3.0%	0.5% to 8.3%					S2-C1	107+76.43	25.94	1092.69	
S2-B15	S2-B9	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S2-C2	107+81.44	26.00	1092.52	
S2-B15	S2-B16	Landing/Turning Space	0.54	-0.01	-1.9%	0.1% to 2%	Yes				S2-C3	107+86.44	26.07	1092.45	
S2-B16	S2-B17	Crosswalk Cross Slope - Yield Condition	5.40	0.10	1.9%	0% to 2%					S2-C4	107+91.44	26.13	1092.37	
S2-B17	S2-B18	Landing/Turning Space	3.22	0.04	1.2%	0.1% to 2%					S2-C5	107+93.27	31.16	1092.35	
S2-B18	S2-B9	Landing/Turning Space	5.00	-0.06	-1.2%	0.1% to 2%					S2-C6	107+91.37	31.13	1092.43	
S2-B18	S2-B19	Ramp Running Slope	5.00	0.17	3.4%	0.5% to 8.3%					S2-C7	107+86.37	31.07	1092.52	
S2-B19	S2-B8	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S2-C8	107+81.37	31.00	1092.59	
S2-B19	S2-B4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S2-C9	107+76.38	29.94	1092.75	
S2-B19	S2-B1	Ramp Running Slope	7.33	0.15	2.0%	0.5% to 8.3%									
S2-C1	S2-C2	Sidewalk Running Slope	5.10	-0.17	-3.3%	0.5% to 5%									
S2-C2	S2-C3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S2-C3	S2-C4	Ramp Running Slope	5.00	-0.08	-1.6%	0.5% to 8.3%									
S2-C4	S2-C5	Crosswalk Cross Slope - Yield Condition	5.48	-0.02	-0.4%	0% to 2%									
S2-C5	S2-C6	Sidewalk Running Slope	2.21	0.08	3.6%	0.5% to 5%									
S2-C6	S2-C4	Ramp Cross Slope	5.00	-0.06	-1.2%	0.1% to 2%									
S2-C6	S2-C7	Ramp Running Slope	5.00	0.09	1.8%	0.5% to 8.3%									
S2-C7	S2-C3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S2-C7	S2-C8	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S2-C8	S2-C2	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S2-C8	S2-C9	Sidewalk Running Slope	5.00	0.16	3.2%	0.5% to 5%									
S2-C9	S2-C1	Match Existing Cross Slope	4.00	-0.06	-1.5%	Match Existing									

**BEACH STREET PCC REHABILITATION PROJECT**

SIDEWALK LAYOUT AND COMPLIANCE INFORMATION      WEBSTER CITY, IA

**SNYDER & ASSOCIATES, INC.**

2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

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Project No: 1240781

Sheet S.14

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113-10  
 04-18-17

**SIDEWALK COMPLIANCE**  
 See 5 Sheets

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES				
											Point	Station	Offset	Elevation	
S3-A1	S3-A2	Ramp Running Slope	5.00	0.28	5.6%	0.5% to 8.3%					S3-A1	110+90.69	24.64	1091.29	
S3-A2	S3-A3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S3-A2	110+95.68	24.67	1091.57	
S3-A3	S3-A4	Ramp Running Slope	10.00	0.50	5.0%	0.5% to 8.3%					S3-A3	111+00.68	24.72	1091.64	
S3-A4	S3-A5	Sidewalk Running Slope	5.10	0.04	0.8%	0.5% to 5%					S3-A4	111+10.68	24.81	1092.14	
S3-A5	S3-A6	Match Existing Cross Slope	4.00	0.23	5.8%	Match Existing					S3-A5	111+15.67	25.85	1092.18	
S3-A6	S3-A7	Sidewalk Running Slope	5.00	-0.20	-4.0%	0.5% to 5%					S3-A6	111+15.64	29.85	1092.41	
S3-A7	S3-A4	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S3-A7	111+10.64	29.81	1092.21	
S3-A7	S3-A8	Ramp Running Slope	10.00	-0.50	-5.0%	0.5% to 8.3%					S3-A7	111+10.64	29.81	1092.21	
S3-A8	S3-A3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S3-A8	111+00.64	29.72	1091.71	
S3-A8	S3-A9	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S3-A9	110+95.64	29.68	1091.64	
S3-A9	S3-A2	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S3-A10	110+90.64	29.64	1091.35	
S3-A9	S3-A10	Ramp Running Slope	5.00	-0.29	-5.8%	0.5% to 8.3%					S3-A11	110+88.32	29.62	1091.26	
S3-A10	S3-A1	Ramp Cross Slope	5.00	-0.06	-1.2%	0.1% to 2%					S3-B1	110+54.36	25.23	1091.58	
S3-A10	S3-A11	Sidewalk Running Slope	2.33	-0.09	-3.9%	0.5% to 5%					S3-B2	110+56.39	30.25	1091.54	
S3-A11	S3-A1	Crosswalk Cross Slope - Yield Condition	5.43	0.03	0.6%	0% to 2%					S3-B3	110+54.31	30.23	1091.62	
S3-B1	S3-B2	Crosswalk Cross Slope - Yield Condition	5.22	-0.04	-0.8%	0% to 2%					S3-B4	110+44.74	30.13	1092.21	
S3-B2	S3-B3	Sidewalk Running Slope	2.13	0.08	3.8%	0.5% to 5%					S3-B5	110+39.74	30.08	1092.28	
S3-B3	S3-B1	Ramp Cross Slope	5.00	-0.04	-0.8%	0.1% to 2%					S3-B6	110+34.73	30.07	1092.58	
S3-B3	S3-B4	Ramp Running Slope	9.57	0.59	6.2%	0.5% to 8.3%					S3-B7	110+29.74	29.98	1092.72	
S3-B4	S3-B5	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S3-B8	110+29.78	25.98	1092.62	
S3-B5	S3-B6	Ramp Running Slope	5.00	0.30	6.0%	0.5% to 8.3%					S3-B9	110+34.79	25.03	1092.51	
S3-B6	S3-B7	Sidewalk Running Slope	5.00	0.14	2.8%	0.5% to 5%					S3-B10	110+39.79	25.08	1092.21	
S3-B7	S3-B8	Match Existing Cross Slope	4.00	-0.10	-2.5%	Match Existing					S3-B11	110+44.79	25.13	1092.14	
S3-B8	S3-B9	Sidewalk Running Slope	5.10	-0.11	-2.2%	0.5% to 5%									
S3-B9	S3-B6	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%									
S3-B9	S3-B10	Ramp Running Slope	5.00	-0.30	-6.0%	0.5% to 8.3%									
S3-B10	S3-B5	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S3-B10	S3-B11	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S3-B11	S3-B4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S3-B11	S3-B1	Ramp Running Slope	9.57	-0.56	-5.9%	0.5% to 8.3%									

DOT: STBG-SIAP-8212(618)-SG-40

MARK: \_\_\_\_\_

Engineer: PDU  
 Checked By: JWH  
 Technician: DCM  
 Date: 12/17/2024  
 Scale: 1"= 20'  
 Field Bk: \_\_\_\_\_  
 Pg: \_\_\_\_\_

REVISION

Project No: 1240781

Sheet S.15

**BEACH STREET PCC REHABILITATION PROJECT**

**SIDEWALK LAYOUT AND COMPLIANCE INFORMATION**

**WEBSTER CITY, IA**

**SNYDER & ASSOCIATES, INC.**

2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

Project No: 1240781

Sheet S.15

# SIDEWALK COMPLIANCE

See 5 Sheets

113-10  
04-18-17

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES			
											Point	Station	Offset	Elevation
											S4-A1	S4-A2	Ramp Running Slope	7.07
S4-A2	S4-A3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S4-A2	113+60.58	24.84	1087.92
S4-A3	S4-A4	Ramp Running Slope	5.00	0.10	2.0%	0.5% to 8.3%					S4-A3	113+65.58	24.89	1087.99
S4-A4	S4-A5	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S4-A4	113+70.58	24.94	1088.09
S4-A5	S4-A6	Sidewalk Running Slope	5.10	0.05	1.0%	0.5% to 5%					S4-A5	113+75.58	24.99	1088.02
S4-A6	S4-A7	Match Existing Cross Slope	4.00	-0.10	-2.5%	Match Existing					S4-A6	113+80.57	26.05	1088.07
S4-A7	S4-A8	Sidewalk Running Slope	5.00	0.12	2.4%	0.5% to 5%					S4-A7	113+80.52	30.05	1087.97
S4-A8	S4-A5	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S4-A8	113+75.52	29.99	1088.09
S4-A8	S4-A9	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S4-A9	113+70.52	29.94	1088.16
S4-A9	S4-A4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S4-A10	113+65.52	29.89	1087.92
S4-A9	S4-A10	Ramp Running Slope	5.00	-0.24	-4.8%	0.5% to 8.3%					S4-A11	113+65.47	34.89	1087.96
S4-A10	S4-A3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S4-A12	113+60.43	34.81	1087.91
S4-A10	S4-A11	Sidewalk Running Slope	5.00	0.04	0.8%	0.5% to 5%					S4-A13	113+60.53	29.84	1087.85
S4-A11	S4-A12	Match Existing Cross Slope	5.00	-0.05	-1.0%	Match Existing					S4-A14	113+53.46	29.77	1087.41
S4-A12	S4-A13	Sidewalk Running Slope	5.00	-0.06	-1.2%	0.5% to 5%					S4-A15	113+51.79	29.74	1087.37
S4-A13	S4-A2	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S4-B1	112+85.70	25.94	1089.49
S4-A13	S4-A10	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S4-B2	112+90.89	24.99	1089.29
S4-A13	S4-A14	Ramp Running Slope	7.07	-0.44	-6.2%	0.5% to 8.3%					S4-B3	113+05.89	25.15	1088.14
S4-A14	S4-A15	Sidewalk Running Slope	5.00	-0.04	-0.8%	0.5% to 5%					S4-B4	113+10.89	25.20	1088.07
S4-A15	S4-A1	Crosswalk Cross Slope - Yield Condition	5.28	0.10	1.9%	0% to 2%					S4-B5	113+17.42	25.27	1087.60
S4-B1	S4-B2	Sidewalk Running Slope	5.10	-0.20	-3.9%	0.5% to 5%					S4-B6	113+19.65	30.30	1087.54
S4-B2	S4-B3	Ramp Running Slope	15.00	-1.15	-7.7%	0.5% to 8.3%	Yes				S4-B7	113+17.37	30.27	1087.63
S4-B3	S4-B4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S4-B8	113+10.83	30.20	1088.14
S4-B4	S4-B5	Ramp Running Slope	6.53	-0.47	-7.2%	0.5% to 8.3%					S4-B9	113+10.73	40.20	1088.73
S4-B5	S4-B6	Crosswalk Cross Slope - Yield Condition	5.39	-0.06	-1.1%	0% to 2%					S4-B10	113+10.68	45.20	1088.53
S4-B6	S4-B7	Sidewalk Running Slope	2.29	0.09	3.9%	0.5% to 5%					S4-B11	113+05.68	45.15	1088.66
S4-B7	S4-B5	Ramp Cross Slope	5.00	-0.03	-0.6%	0.1% to 2%					S4-B12	113+05.73	40.15	1088.80
S4-B7	S4-B8	Ramp Running Slope	6.53	0.51	7.8%	0.5% to 8.3%	Yes				S4-B13	113+05.83	30.15	1088.21
S4-B8	S4-B4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S4-B14	112+90.84	29.99	1089.36
S4-B8	S4-B9	Ramp Running Slope	10.00	0.59	5.9%	0.5% to 8.3%					S4-B15	112+85.63	29.94	1089.59
S4-B9	S4-B10	Sidewalk Running Slope	5.00	-0.20	-4.0%	0.5% to 5%								
S4-B10	S4-B11	Match Existing Cross Slope	5.00	0.13	2.6%	Match Existing								
S4-B11	S4-B12	Sidewalk Running Slope	5.00	0.14	2.8%	0.5% to 5%								
S4-B12	S4-B9	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%								
S4-B12	S4-B13	Ramp Running Slope	10.00	-0.59	-5.9%	0.5% to 8.3%								
S4-B13	S4-B8	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%								
S4-B13	S4-B3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%								
S4-B13	S4-B14	Ramp Running Slope	15.00	1.15	7.7%	0.5% to 8.3%	Yes							
S4-B14	S4-B2	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%								
S4-B14	S4-B15	Sidewalk Running Slope	5.10	0.23	4.5%	0.5% to 5%	Yes							
S4-B15	S4-B1	Match Existing Cross Slope	4.00	-0.10	-2.5%	Match Existing								

Project No: 1240781

Sheet S.16

**SNYDER & ASSOCIATES**

2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

SIDEWALK LAYOUT AND COMPLIANCE INFORMATION

WEBSTER CITY, IA

BEACH STREET PCC REHABILITATION PROJECT

12/17/2024 11:43:36 AM  
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## SIDEWALK COMPLIANCE

See S Sheets

113-10  
04-18-17

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES				
											Point	Station	Offset	Elevation	
S5-A1	S5-A2	Sidewalk Running Slope	5.10	-0.15	-2.9%	0.5% to 5%					S5-A1	115+44.85	25.80	1086.05	
S5-A2	S5-A3	Ramp Running Slope	5.00	-0.08	-1.6%	0.5% to 8.3%					S5-A2	115+49.86	24.85	1085.90	
S5-A3	S5-A4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S5-A3	115+54.86	24.90	1085.82	
S5-A4	S5-A5	Ramp Running Slope	2.31	-0.06	-2.6%	0.5% to 8.3%					S5-A4	115+59.86	24.95	1085.75	
S5-A5	S5-A6	Crosswalk Cross Slope - Yield Condition	5.12	-0.08	-1.6%	0% to 2%					S5-A5	115+62.17	24.98	1085.69	
S5-A6	S5-A7	Sidewalk Running Slope	1.12	0.02	1.8%	0.5% to 5%					S5-A6	115+63.20	29.99	1085.61	
S5-A7	S5-A5	Ramp Cross Slope	5.00	0.06	1.2%	0.1% to 2%					S5-A7	115+62.12	29.98	1085.63	
S5-A7	S5-A8	Ramp Running Slope	2.64	0.17	6.4%	0.5% to 8.3%					S5-A8	115+59.81	29.95	1085.80	
S5-A8	S5-A4	Landing/Turning Space	5.00	-0.05	-1.0%	0.1% to 2%					S5-A9	115+58.75	34.94	1085.69	
S5-A8	S5-A9	Sidewalk Running Slope	5.10	-0.11	-2.2%	0.5% to 5%					S5-A10	115+54.75	34.90	1085.79	
S5-A9	S5-A10	Match Existing Cross Slope	4.00	0.10	2.5%	Match Existing					S5-A11	115+54.81	29.90	1085.87	
S5-A10	S5-A11	Sidewalk Running Slope	5.00	0.08	1.6%	0.5% to 5%					S5-A12	115+49.81	29.85	1085.95	
S5-A11	S5-A8	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S5-A13	115+44.81	29.79	1086.08	
S5-A11	S5-A3	Landing/Turning Space	5.00	-0.05	-1.0%	0.1% to 2%					S5-B1	115+97.08	25.67	1085.35	
S5-A11	S5-A12	Ramp Running Slope	5.00	0.08	1.6%	0.5% to 8.3%					S5-B2	115+98.31	25.68	1085.37	
S5-A12	S5-A2	Ramp Cross Slope	5.00	-0.05	-1.0%	0.1% to 2%					S5-B3	116+03.31	25.74	1085.44	
S5-A12	S5-A13	Sidewalk Running Slope	5.00	0.13	2.6%	0.5% to 5%					S5-B4	116+08.31	25.80	1085.53	
S5-A13	S5-A1	Match Existing Cross Slope	4.00	-0.03	-0.8%	Match Existing					S5-B5	116+13.31	25.86	1085.48	
S5-B1	S5-B2	Landing/Turning Space	1.23	0.02	1.6%	0.1% to 2%			Yes		S5-B6	116+13.26	29.86	1085.67	
S5-B2	S5-B3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S5-B7	116+08.26	29.80	1085.57	
S5-B3	S5-B4	Ramp Running Slope	5.00	0.09	1.8%	0.5% to 8.3%					S5-B8	116+03.26	29.74	1085.39	
S5-B4	S5-B5	Sidewalk Running Slope	5.00	-0.05	-1.0%	0.5% to 5%					S5-B9	116+03.25	30.74	1085.38	
S5-B5	S5-B6	Match Existing Cross Slope	4.00	0.19	4.8%	Match Existing					S5-B10	116+03.19	35.74	1085.53	
S5-B6	S5-B7	Sidewalk Running Slope	5.00	-0.10	-2.0%	0.5% to 5%					S5-B11	116+03.13	40.74	1085.49	
S5-B7	S5-B4	Ramp Cross Slope	4.00	-0.04	-1.0%	0.1% to 2%					S5-B12	115+98.13	40.68	1085.44	
S5-B7	S5-B8	Ramp Running Slope	5.00	-0.18	-3.6%	0.5% to 8.3%					S5-B13	115+98.19	35.68	1085.49	
S5-B8	S5-B3	Landing/Turning Space	4.00	0.05	1.3%	0.1% to 2%					S5-B14	115+98.25	30.68	1085.34	
S5-B8	S5-B9	Landing/Turning Space	1.00	-0.01	-1.0%	0.1% to 2%					S5-B15	115+97.02	30.67	1085.33	
S5-B9	S5-B10	Ramp Running Slope	5.00	0.15	3.0%	0.5% to 8.3%					S5-B16	115+94.71	30.64	1085.30	
S5-B10	S5-B11	Sidewalk Running Slope	5.00	-0.04	-0.8%	0.5% to 5%									
S5-B11	S5-B12	Match Existing Cross Slope	5.00	-0.05	-1.0%	Match Existing									
S5-B12	S5-B13	Sidewalk Running Slope	5.00	0.05	1.0%	0.5% to 5%									
S5-B13	S5-B10	Ramp Cross Slope	5.00	0.04	0.8%	0.1% to 2%									
S5-B13	S5-B14	Ramp Running Slope	5.00	-0.15	-3.0%	0.5% to 8.3%									
S5-B14	S5-B9	Landing/Turning Space	5.00	0.04	0.8%	0.1% to 2%									
S5-B14	S5-B2	Landing/Turning Space	5.00	0.03	0.6%	0.1% to 2%									
S5-B14	S5-B15	Landing/Turning Space	1.23	-0.01	-0.8%	0.1% to 2%									
S5-B15	S5-B1	Landing/Turning Space	5.00	0.02	0.4%	0.1% to 2%									
S5-B15	S5-B16	Landing/Turning Space	2.31	-0.03	-1.3%	0.1% to 2%									
S5-B16	S5-B1	Crosswalk Cross Slope - Yield Condition	5.59	0.05	0.9%	0% to 2%									

DOT STG-SI/AS-8212(6/8)-SG-40

MARK  
 Engineer: PDU  
 Technician: DCM

REVISION  
 Checked By: JWH  
 Date: 12/17/2024

DATE  
 Scale: 1"= 20'  
 Field Bk: Pg:

### BEACH STREET PCC REHABILITATION PROJECT

SIDEWALK LAYOUT AND COMPLIANCE INFORMATION

## SNYDER & ASSOCIATES, INC.

2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

WEBSTER CITY, IA

Project No: 1240781

Sheet S.17

Sheet S.17

# SIDEWALK COMPLIANCE

See S Sheets

113-10  
04-18-17

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES				
											Point	Station	Offset	Elevation	
S6-A1	S6-A2	Match Existing Cross Slope	5.00	-0.17	-3.4%	Match Existing					S6-A1	118+54.88	-47.11	1085.41	
S6-A2	S6-A3	Sidewalk Running Slope	5.00	-0.03	-0.6%	0.5% to 5%					S6-A2	118+59.87	-47.05	1085.24	
S6-A3	S6-A4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S6-A3	118+59.81	-42.05	1085.21	
S6-A4	S6-A5	Ramp Running Slope	5.00	-0.35	-7.0%	0.5% to 8.3%					S6-A4	118+59.74	-37.05	1085.14	
S6-A5	S6-A6	Ramp Running Slope	5.00	-0.35	-7.0%	0.5% to 8.3%					S6-A5	118+59.68	-32.05	1084.79	
S6-A6	S6-A7	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S6-A6	118+59.62	-27.05	1084.44	
S6-A7	S6-A8	Ramp Running Slope	5.00	-0.31	-6.2%	0.5% to 8.3%					S6-A7	118+59.55	-22.05	1084.37	
S6-A8	S6-A9	Crosswalk Cross Slope - No Yield Condition	5.23	0.06	1.1%	0% to 5%					S6-A8	118+59.49	-17.05	1084.06	
S6-A9	S6-A10	Sidewalk Running Slope	1.49	0.01	0.7%	0.5% to 5%					S6-A9	118+54.47	-15.63	1084.12	
S6-A10	S6-A8	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S6-A10	118+54.49	-17.12	1084.13	
S6-A10	S6-A11	Ramp Running Slope	5.00	0.31	6.2%	0.5% to 8.3%					S6-A11	118+54.55	-22.12	1084.44	
S6-A11	S6-A7	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S6-A12	118+54.62	-27.12	1084.51	
S6-A11	S6-A12	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S6-A13	118+54.68	-32.12	1084.86	
S6-A12	S6-A6	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S6-A14	118+54.74	-37.12	1085.21	
S6-A12	S6-A13	Ramp Running Slope	5.00	0.35	7.0%	0.5% to 8.3%					S6-A15	118+54.81	-42.12	1085.28	
S6-A13	S6-A5	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S6-B1	119+15.50	-46.95	1084.97	
S6-A13	S6-A14	Ramp Running Slope	5.00	0.35	7.0%	0.5% to 8.3%					S6-B2	119+20.53	-46.87	1085.04	
S6-A14	S6-A4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S6-B3	119+20.44	-41.87	1084.83	
S6-A14	S6-A15	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S6-B4	119+20.36	-36.87	1084.76	
S6-A15	S6-A3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S6-B5	119+20.30	-30.89	1084.39	
S6-A15	S6-A1	Sidewalk Running Slope	5.00	0.13	2.6%	0.5% to 5%					S6-B6	119+20.10	-17.20	1084.32	
S6-B1	S6-B2	Match Existing Cross Slope	5.00	0.07	1.4%	Match Existing					S6-B7	119+20.22	-25.89	1083.67	
S6-B2	S6-B3	Sidewalk Running Slope	5.00	-0.21	-4.2%	0.5% to 5%	Yes				S6-B8	119+20.08	-15.78	1083.62	
S6-B3	S6-B4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S6-B9	119+15.10	-17.27	1083.64	
S6-B4	S6-B5	Ramp Running Slope	5.98	-0.37	-6.2%	0.5% to 8.3%					S6-B10	119+15.22	-25.97	1084.25	
S6-B5	S6-B6	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S6-B11	119+15.30	-30.97	1084.32	
S6-B6	S6-B7	Ramp Running Slope	8.70	-0.65	-7.5%	0.5% to 8.3%	Yes				S6-B12	119+15.36	-36.95	1084.69	
S6-B7	S6-B8	Sidewalk Running Slope	1.42	-0.05	-3.5%	0.5% to 5%					S6-B13	119+15.44	-41.95	1084.76	
S6-B8	S6-B9	Crosswalk Cross Slope - No Yield Condition	5.20	0.02	0.4%	0% to 5%					S6-C1	119+15.17	17.14	1083.54	
S6-B9	S6-B7	Ramp Cross Slope	5.00	0.03	0.6%	0.1% to 2%					S6-C2	119+20.20	15.64	1083.57	
S6-B9	S6-B10	Ramp Running Slope	8.70	0.61	7.0%	0.5% to 8.3%					S6-C3	119+20.17	17.22	1083.61	
S6-B10	S6-B6	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S6-C4	119+20.02	27.87	1083.91	
S6-B10	S6-B11	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S6-C5	119+25.02	27.94	1083.70	
S6-B11	S6-B5	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S6-C6	119+24.95	32.94	1083.85	
S6-B11	S6-B12	Ramp Running Slope	5.98	0.37	6.2%	0.5% to 8.3%					S6-C7	119+19.95	32.87	1083.98	
S6-B12	S6-B4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S6-C8	119+19.87	37.87	1083.95	
S6-B12	S6-B13	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S6-C9	119+14.87	37.80	1083.94	
S6-B13	S6-B1	Sidewalk Running Slope	5.00	0.21	4.2%	0.5% to 5%	Yes				S6-C10	119+14.95	32.80	1083.91	
S6-C1	S6-C2	Crosswalk Cross Slope - No Yield Condition	5.26	0.03	0.6%	0% to 5%					S6-C11	119+05.22	32.67	1083.56	
S6-C2	S6-C3	Ramp Running Slope	1.57	0.04	2.5%	0.5% to 8.3%					S6-C12	119+04.08	32.65	1083.52	
S6-C3	S6-C1	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S6-C13	119+05.28	27.67	1083.53	
S6-C3	S6-C4	Ramp Running Slope	10.65	0.30	2.8%	0.5% to 8.3%					S6-C14	119+15.02	27.80	1083.84	
S6-C4	S6-C5	Sidewalk Running Slope	5.00	-0.21	-4.2%	0.5% to 5%	Yes				S6-D1	118+54.99	15.27	1083.84	
S6-C5	S6-C6	Match Existing Cross Slope	5.00	0.15	3.0%	Match Existing					S6-D2	118+59.98	15.81	1083.94	
S6-C6	S6-C7	Sidewalk Running Slope	5.00	0.13	2.6%	0.5% to 5%					S6-D3	118+59.86	25.24	1084.23	
S6-C7	S6-C4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S6-D4	118+72.53	25.40	1083.70	
S6-C7	S6-C8	Sidewalk Running Slope	5.00	-0.03	-0.6%	0.5% to 5%					S6-D5	118+74.44	30.43	1083.65	
S6-C8	S6-C9	Match Existing Cross Slope	5.00	-0.01	-0.2%	Match Existing					S6-D6	118+72.47	30.40	1083.73	
S6-C9	S6-C10	Sidewalk Running Slope	5.00	-0.03	-0.6%	0.5% to 5%					S6-D7	118+59.79	30.24	1084.30	
S6-C10	S6-C7	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S6-D8	118+49.79	30.11	1084.37	
S6-C10	S6-C11	Ramp Running Slope	9.79	-0.35	-3.6%	0.5% to 8.3%					S6-D9	118+54.79	30.17	1084.47	
S6-C11	S6-C12	Sidewalk Running Slope	1.13	-0.04	-3.5%	0.5% to 5%					S6-D10	118+49.85	26.11	1084.35	
S6-C12	S6-C13	Crosswalk Cross Slope - Yield Condition	5.14	0.01	0.2%	0% to 2%					S6-D11	118+54.86	25.17	1084.30	
S6-C13	S6-C11	Ramp Cross Slope	5.00	0.03	0.6%	0.1% to 2%					S6-D12	118+54.98	15.75	1083.85	
S6-C13	S6-C14	Ramp Running Slope	9.79	0.31	3.2%	0.5% to 8.3%									
S6-C14	S6-C10	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S6-C14	S6-C4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S6-C14	S6-C11	Ramp Running Slope	10.65	-0.28	-2.6%	0.5% to 8.3%									
S6-D1	S6-D2	Crosswalk Cross Slope - No Yield Condition	5.05	0.10	2.0%	0% to 5%									
S6-D2	S6-D3	Ramp Running Slope	9.43	0.29	3.1%	0.5% to 8.3%									
S6-D3	S6-D4	Ramp Running Slope	12.67	-0.53	-4.2%	0.5% to 8.3%									
S6-D4	S6-D5	Crosswalk Cross Slope - Yield Condition	5.39	-0.05	-0.9%	0% to 2%									
S6-D5	S6-D6	Sidewalk Running Slope	1.98	0.08	4.0%	0.5% to 5%									
S6-D6	S6-D4	Ramp Cross Slope	5.00	-0.03	-0.6%	0.1% to 2%									
S6-D6	S6-D7	Ramp Running Slope	12.67	0.57	4.5%	0.5% to 8.3%									
S6-D7	S6-D3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S6-D7	S6-D8	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S6-D8	S6-D9	Sidewalk Running Slope	5.00	0.10	2.0%	0.5% to 5%									
S6-D9	S6-D10	Match Existing Cross Slope	4.00	-0.12	-3.0%	Match Existing									
S6-D10	S6-D11	Sidewalk Running Slope	5.10	-0.05	-1.0%	0.5% to 5%									
S6-D11	S6-D3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S6-D11	S6-D12	Ramp Running Slope	9.43	-0.45	-4.8%	0.5% to 8.3%									
S6-D12	S6-D2	Ramp Cross Slope	5.00	0.09	1.8%	0.1% to 2%	Yes								
S6-D12	S6-D1	Ramp Running Slope	0.49	-0.01	-2.0%	0.5% to 8.3%									

DOT ST6C-SIAP-0212(6/18)-SG-40

MARK

REVISION

DATE

BY

Engineer: PDU

Checked By: JWH

Scale: 1"= 20'

Field Bk:

Date: 12/17/2024

Page:

Project No: 1240781

Sheet S.18

BEACH STREET PCC REHABILITATION PROJECT

SIDEWALK LAYOUT AND COMPLIANCE INFORMATION

WEBSTER CITY, IA

2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

**SNYDER & ASSOCIATES, INC.**

**SNYDER & ASSOCIATES**

Project No: 1240781

Sheet S.18

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# SIDEWALK COMPLIANCE

See 5 Sheets

113-10  
 04-18-17

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	_ " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES			
											Point	Station	Offset	Elevation
											S7-A1	S7-A2	Match Existing Cross Slope	5.00
S7-A2	S7-A3	Sidewalk Running Slope	5.00	-0.09	-1.8%	0.5% to 5%					S7-A2	121+99.08	-52.04	1082.73
S7-A3	S7-A4	Ramp Running Slope	5.00	-0.35	-7.0%	0.5% to 8.3%					S7-A3	121+99.01	-47.04	1082.64
S7-A4	S7-A5	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S7-A4	121+98.90	-42.04	1082.29
S7-A5	S7-A6	Ramp Running Slope	5.00	-0.32	-6.4%	0.5% to 8.3%					S7-A5	121+98.87	-37.04	1082.22
S7-A6	S7-A7	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S7-A6	121+98.80	-32.04	1081.90
S7-A7	S7-A8	Ramp Running Slope	10.00	-0.48	-4.8%	0.5% to 8.3%					S7-A7	121+98.73	-27.04	1081.83
S7-A8	S7-A9	Crosswalk Cross Slope - No Yield Condition	5.24	0.06	1.1%	0% to 5%					S7-A8	121+98.58	-17.04	1081.35
S7-A9	S7-A10	Sidewalk Running Slope	1.53	0.01	0.7%	0.5% to 5%					S7-A9	121+93.56	-15.58	1081.41
S7-A10	S7-A8	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S7-A10	121+93.58	-17.11	1081.42
S7-A10	S7-A11	Ramp Running Slope	10.00	0.48	4.8%	0.5% to 8.3%					S7-A11	121+93.73	-27.11	1081.90
S7-A11	S7-A7	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S7-A12	121+93.80	-32.11	1081.97
S7-A11	S7-A12	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S7-A13	121+93.87	-37.11	1082.29
S7-A12	S7-A6	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S7-A14	121+93.94	-42.11	1082.36
S7-A12	S7-A13	Ramp Running Slope	5.00	0.32	6.4%	0.5% to 8.3%					S7-A15	121+94.01	-47.11	1082.70
S7-A13	S7-A5	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S7-B1	122+52.79	-45.99	1082.34
S7-A13	S7-A14	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S7-B2	122+57.79	-45.81	1082.31
S7-A14	S7-A4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S7-B3	122+57.60	-40.81	1082.19
S7-A14	S7-A15	Ramp Running Slope	5.00	0.34	6.8%	0.5% to 8.3%					S7-B4	122+57.41	-35.81	1082.12
S7-A15	S7-A3	Ramp Cross Slope	5.00	-0.06	-1.2%	0.1% to 2%					S7-B5	122+57.23	-30.82	1082.05
S7-A15	S7-A1	Sidewalk Running Slope	5.00	0.14	2.8%	0.5% to 5%					S7-B6	122+56.73	-17.44	1080.98
S7-B1	S7-B2	Match Existing Cross Slope	5.00	-0.03	-0.6%	Match Existing					S7-B7	122+56.65	-15.31	1080.93
S7-B2	S7-B3	Sidewalk Running Slope	5.00	-0.12	-2.4%	0.5% to 5%					S7-B8	122+51.73	-17.63	1081.01
S7-B3	S7-B4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S7-B9	122+52.23	-31.00	1081.98
S7-B4	S7-B5	Ramp Running Slope	5.00	-0.07	-1.4%	0.5% to 8.3%					S7-B10	122+52.42	-36.00	1082.05
S7-B5	S7-B6	Ramp Running Slope	13.38	-1.07	-8.0%	0.5% to 8.3%	Yes				S7-B11	122+52.60	-41.00	1082.12
S7-B6	S7-B7	Sidewalk Running Slope	2.14	-0.05	-2.3%	0.5% to 5%					S7-C1	122+54.24	17.43	1081.06
S7-B8	S7-B6	Ramp Cross Slope	5.00	-0.03	-0.6%	0.1% to 2%					S7-C2	122+59.29	16.40	1081.04
S7-B7	S7-B8	Crosswalk Cross Slope - No Yield Condition	5.45	0.08	1.5%	0% to 5%					S7-C3	122+59.24	17.61	1081.09
S7-B9	S7-B5	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S7-C4	122+58.80	29.41	1081.23
S7-B8	S7-B9	Ramp Running Slope	13.38	0.97	7.2%	0.5% to 8.3%					S7-C5	122+65.54	29.43	1081.43
S7-B9	S7-B10	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S7-C6	122+65.64	34.43	1081.44
S7-B10	S7-B4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S7-C7	122+58.61	34.41	1081.30
S7-B10	S7-B11	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S7-C8	122+58.43	39.41	1081.41
S7-B11	S7-B3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S7-C9	122+53.43	39.22	1081.44
S7-B11	S7-B1	Sidewalk Running Slope	5.00	0.22	4.4%	0.5% to 5%					S7-C10	122+53.62	34.22	1081.23
S7-C1	S7-C2	Crosswalk Cross Slope - No Yield Condition	5.20	-0.02	-0.4%	0% to 5%					S7-C11	122+44.93	33.90	1080.76
S7-C2	S7-C3	Sidewalk Running Slope	1.24	0.05	4.0%	0.5% to 5%					S7-C12	122+44.45	33.88	1080.75
S7-C3	S7-C4	Ramp Running Slope	11.71	0.14	1.2%	0.5% to 8.3%					S7-C13	122+45.11	28.90	1080.78
S7-C4	S7-C5	Sidewalk Running Slope	5.00	0.20	4.0%	0.5% to 5%					S7-C14	122+53.80	29.23	1081.16
S7-C5	S7-C6	Match Existing Cross Slope	5.00	0.01	0.2%	Match Existing								
S7-C6	S7-C7	Sidewalk Running Slope	5.00	-0.14	-2.8%	0.5% to 5%								
S7-C7	S7-C4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%								
S7-C7	S7-C8	Sidewalk Running Slope	5.00	0.11	2.2%	0.5% to 5%								
S7-C8	S7-C9	Match Existing Cross Slope	5.00	0.03	0.6%	Match Existing								
S7-C9	S7-C10	Sidewalk Running Slope	5.00	-0.21	-4.2%	0.5% to 5%	Yes							
S7-C10	S7-C7	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%								
S7-C10	S7-C11	Ramp Running Slope	8.39	-0.47	-5.6%	0.5% to 8.3%								
S7-C11	S7-C12	Sidewalk Running Slope	0.47	-0.01	-2.1%	0.5% to 5%								
S7-C12	S7-C13	Crosswalk Cross Slope - Yield Condition	5.04	0.03	0.6%	0% to 2%								
S7-C13	S7-C11	Ramp Cross Slope	5.00	-0.02	-0.4%	0.1% to 2%								
S7-C13	S7-C14	Ramp Running Slope	8.39	0.38	4.5%	0.5% to 8.3%								
S7-C14	S7-C10	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%								
S7-C14	S7-C4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%								
S7-C14	S7-C1	Ramp Running Slope	11.71	-0.10	-0.9%	0.5% to 8.3%								

BEACH STREET PCC REHABILITATION PROJECT  
 SIDEWALK LAYOUT AND COMPLIANCE INFORMATION  
 WEBSTER CITY, IA  
**SNYDER & ASSOCIATES, INC.**  
 2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM



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### SIDEWALK COMPLIANCE

See S Sheets

113-10  
 04-18-17

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES				
											Point	Station	Offset	Elevation	
S8-A1	S8-A2	Sidewalk Running Slope	5.00	-0.14	-2.8%	0.5% to 5%					S8-A1	125+42.86	-32.21	1081.64	
S8-A2	S8-A3	Ramp Running Slope	5.00	-0.35	-7.0%	0.5% to 8.3%					S8-A2	125+47.86	-32.24	1081.50	
S8-A3	S8-A4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S8-A3	125+52.86	-32.27	1081.15	
S8-A4	S8-A5	Ramp Running Slope	7.00	0.49	7.0%	0.5% to 8.3%					S8-A4	125+57.86	-32.30	1081.22	
S8-A5	S8-A6	Sidewalk Running Slope	5.00	0.09	1.8%	0.5% to 5%					S8-A5	125+64.81	-32.35	1081.71	
S8-A6	S8-A7	Match Existing Cross Slope	5.00	-0.13	-2.6%	Match Existing					S8-A6	125+69.81	-32.39	1081.80	
S8-A7	S8-A8	Sidewalk Running Slope	5.00	-0.03	-0.6%	0.5% to 5%					S8-A7	125+69.85	-27.39	1081.67	
S8-A8	S8-A5	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S8-A8	125+64.85	-27.35	1081.64	
S8-A8	S8-A9	Ramp Running Slope	7.00	-0.49	-7.0%	0.5% to 8.3%					S8-A9	125+57.89	-27.30	1081.15	
S8-A9	S8-A4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S8-A10	125+57.97	-15.40	1080.36	
S8-A9	S8-A10	Ramp Running Slope	11.89	-0.79	-6.6%	0.5% to 8.3%					S8-A11	125+52.97	-15.37	1080.34	
S8-A10	S8-A11	Crosswalk Cross Slope - No Yield Condition	5.00	-0.02	-0.4%	0% to 5%					S8-A12	125+52.89	-27.27	1081.08	
S8-A11	S8-A12	Ramp Running Slope	11.89	0.74	6.2%	0.5% to 8.3%					S8-A13	125+47.89	-27.24	1081.43	
S8-A12	S8-A9	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S8-A14	125+42.89	-27.21	1081.56	
S8-A12	S8-A3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S8-B1	125+53.28	15.41	1080.28	
S8-A12	S8-A13	Ramp Running Slope	5.00	0.35	7.0%	0.5% to 8.3%					S8-B2	125+58.28	15.38	1080.29	
S8-A13	S8-A2	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S8-B3	125+58.24	27.58	1081.10	
S8-A13	S8-A14	Sidewalk Running Slope	5.00	0.13	2.6%	0.5% to 5%					S8-B4	125+63.24	27.60	1081.22	
S8-A14	S8-A1	Match Existing Cross Slope	5.00	0.08	1.6%	Match Existing					S8-B5	125+63.22	32.60	1081.29	
S8-B1	S8-B2	Crosswalk Cross Slope - No Yield Condition	5.00	0.01	0.2%	0% to 5%					S8-B6	125+58.22	32.58	1081.17	
S8-B2	S8-B3	Ramp Running Slope	12.21	0.81	6.6%	0.5% to 8.3%					S8-B7	125+53.22	32.57	1081.10	
S8-B3	S8-B4	Sidewalk Running Slope	5.00	0.12	2.4%	0.5% to 5%					S8-B8	125+43.22	32.54	1080.70	
S8-B4	S8-B5	Match Existing Cross Slope	5.00	0.07	1.4%	Match Existing					S8-B9	125+43.19	42.54	1081.17	
S8-B5	S8-B6	Sidewalk Running Slope	5.00	-0.12	-2.4%	0.5% to 5%					S8-B10	125+43.18	47.54	1081.31	
S8-B6	S8-B3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S8-B11	125+38.18	47.52	1081.17	
S8-B6	S8-B7	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S8-B12	125+38.19	42.52	1081.10	
S8-B7	S8-B8	Sidewalk Running Slope	10.00	-0.40	-4.0%	0.5% to 5%					S8-B13	125+38.22	32.52	1080.63	
S8-B8	S8-B9	Ramp Running Slope	10.00	0.47	4.7%	0.5% to 8.3%					S8-B14	125+26.97	32.49	1080.17	
S8-B9	S8-B10	Sidewalk Running Slope	5.00	0.14	2.8%	0.5% to 5%					S8-B15	125+25.56	32.48	1080.16	
S8-B10	S8-B11	Match Existing Cross Slope	5.00	-0.14	-2.8%	Match Existing					S8-B16	125+26.99	27.49	1080.10	
S8-B11	S8-B12	Sidewalk Running Slope	5.00	-0.07	-1.4%	0.5% to 5%					S8-B17	125+38.24	27.52	1080.56	
S8-B12	S8-B13	Ramp Running Slope	10.00	-0.47	-4.7%	0.5% to 8.3%					S8-B18	125+43.24	27.54	1080.63	
S8-B13	S8-B8	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S8-B19	125+53.24	27.57	1081.03	
S8-B13	S8-B14	Ramp Running Slope	11.25	-0.46	-4.1%	0.5% to 8.3%					S8-C1	124+73.26	27.54	1080.85	
S8-B14	S8-B15	Sidewalk Running Slope	1.41	-0.01	-0.7%	0.5% to 5%					S8-C2	124+77.93	26.52	1080.64	
S8-B15	S8-B16	Crosswalk Cross Slope - Yield Condition	5.21	-0.06	-1.2%	0% to 2%					S8-C3	124+82.93	26.53	1080.57	
S8-B16	S8-B17	Ramp Running Slope	11.25	0.46	4.1%	0.5% to 8.3%					S8-C4	124+94.26	26.57	1080.08	
S8-B17	S8-B13	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S8-C5	124+95.89	31.57	1080.11	
S8-B17	S8-B18	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S8-C6	124+94.24	31.57	1080.15	
S8-B18	S8-B8	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S8-C7	124+82.92	31.53	1080.64	
S8-B18	S8-B19	Sidewalk Running Slope	10.00	0.40	4.0%	0.5% to 5%					S8-C8	124+82.90	36.53	1080.74	
S8-B19	S8-B7	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S8-C9	124+77.90	36.52	1080.83	
S8-B19	S8-B3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S8-C10	124+77.92	31.52	1080.71	
S8-B19	S8-B1	Ramp Running Slope	12.21	-0.75	-6.1%	0.5% to 8.3%					S8-C11	124+73.29	31.53	1080.77	
S8-C1	S8-C2	Sidewalk Running Slope	5.10	-0.21	-4.1%	0.5% to 5%				Yes					
S8-C2	S8-C3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S8-C3	S8-C4	Ramp Running Slope	11.33	-0.49	-4.3%	0.5% to 8.3%									
S8-C4	S8-C5	Crosswalk Cross Slope - Yield Condition	5.28	0.03	0.6%	0% to 2%									
S8-C5	S8-C6	Sidewalk Running Slope	1.65	0.04	2.4%	0.5% to 5%									
S8-C6	S8-C4	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%									
S8-C6	S8-C7	Ramp Running Slope	11.33	0.49	4.3%	0.5% to 8.3%									
S8-C7	S8-C3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S8-C7	S8-C8	Sidewalk Running Slope	5.00	0.10	2.0%	0.5% to 5%									
S8-C8	S8-C9	Match Existing Cross Slope	5.00	0.09	1.8%	Match Existing									
S8-C9	S8-C10	Sidewalk Running Slope	5.00	-0.12	-2.4%	0.5% to 5%									
S8-C10	S8-C7	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S8-C10	S8-C2	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S8-C10	S8-C11	Sidewalk Running Slope	5.00	0.06	1.2%	0.5% to 5%									
S8-C11	S8-C1	Match Existing Cross Slope	4.00	0.08	2.0%	Match Existing									

Project No: 1240781  
Sheet S.20

**SNYDER & ASSOCIATES, INC.**  
 2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

SIDEWALK LAYOUT AND COMPLIANCE INFORMATION WEBSTER CITY, IA

BEACH STREET PCC REHABILITATION PROJECT

DOT: ST6C-SIAP-8212(618)-SG-40

MARK: \_\_\_\_\_  
 Engineer: PDU \_\_\_\_\_  
 Checked By: JWH \_\_\_\_\_  
 Technician: DCM \_\_\_\_\_  
 Date: 12/17/2024  
 Scale: 1"= 20'  
 Field Bk: \_\_\_\_\_  
 Page: \_\_\_\_\_



**SIDEWALK COMPLIANCE**

See S Sheets

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES				
											Point	Station	Offset	Elevation	
											S9-A1	S9-A2	Ramp Running Slope	10.22	0.38
S9-A2	S9-A3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S9-A2	128+84.32	27.28	1080.12	
S9-A3	S9-A4	Sidewalk Running Slope	5.00	0.22	4.4%	0.5% to 5%	Yes				S9-A3	128+89.32	27.27	1080.19	
S9-A4	S9-A5	Match Existing Cross Slope	5.00	-0.01	-0.2%	Match Existing					S9-A4	128+94.32	27.26	1080.41	
S9-A5	S9-A6	Sidewalk Running Slope	5.00	-0.17	-3.4%	0.5% to 5%					S9-A5	128+94.33	32.26	1080.40	
S9-A6	S9-A3	Landing/Turning Space	5.00	-0.04	-0.8%	0.1% to 2%					S9-A6	128+89.33	32.27	1080.23	
S9-A6	S9-A7	Sidewalk Running Slope	5.00	0.07	1.4%	0.5% to 5%					S9-A7	128+89.33	37.27	1080.30	
S9-A7	S9-A8	Match Existing Cross Slope	5.00	-0.06	-1.2%	Match Existing					S9-A8	128+84.33	37.28	1080.24	
S9-A8	S9-A9	Sidewalk Running Slope	5.00	-0.05	-1.0%	0.5% to 5%					S9-A9	128+84.33	32.28	1080.19	
S9-A9	S9-A2	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S9-A10	128+74.10	32.29	1079.68	
S9-A9	S9-A6	Landing/Turning Space	5.00	0.04	0.8%	0.1% to 2%					S9-A11	128+72.78	32.29	1079.66	
S9-A9	S9-A10	Ramp Running Slope	10.22	-0.51	-5.0%	0.5% to 8.3%					S9-B1	128+14.89	27.83	1080.49	
S9-A10	S9-A1	Ramp Cross Slope	5.00	0.06	1.2%	0.1% to 2%					S9-B2	128+19.89	27.84	1080.33	
S9-A10	S9-A11	Sidewalk Running Slope	1.33	-0.02	-1.5%	0.5% to 5%					S9-B3	128+24.89	27.85	1080.16	
S9-A11	S9-A1	Crosswalk Cross Slope - Yield Condition	5.19	0.08	1.5%	0% to 2%					S9-B4	128+29.96	27.85	1080.09	
S9-B1	S9-B2	Sidewalk Running Slope	5.00	-0.16	-3.2%	0.5% to 5%					S9-B5	128+42.14	27.83	1079.68	
S9-B2	S9-B3	Sidewalk Running Slope	5.00	-0.17	-3.4%	0.5% to 5%					S9-B6	128+43.54	32.83	1079.60	
S9-B3	S9-B4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S9-B7	128+42.14	32.83	1079.65	
S9-B4	S9-B5	Ramp Running Slope	12.17	-0.41	-3.4%	0.5% to 8.3%					S9-B8	128+29.97	32.85	1080.16	
S9-B5	S9-B6	Crosswalk Cross Slope - No Yield Condition	5.21	-0.08	-1.5%	0% to 5%					S9-B9	128+29.97	37.85	1080.20	
S9-B6	S9-B7	Sidewalk Running Slope	1.40	0.05	3.6%	0.5% to 5%					S9-B10	128+24.88	37.85	1080.32	
S9-B7	S9-B5	Ramp Cross Slope	5.00	0.03	0.6%	0.1% to 2%					S9-B11	128+24.89	32.85	1080.23	
S9-B7	S9-B8	Ramp Running Slope	12.17	0.51	4.2%	0.5% to 8.3%					S9-B12	128+19.89	32.84	1080.40	
S9-B8	S9-B4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S9-B13	128+14.89	32.83	1080.58	
S9-B8	S9-B9	Sidewalk Running Slope	5.00	0.04	0.8%	0.5% to 5%									
S9-B9	S9-B10	Match Existing Cross Slope	5.00	0.12	2.4%	Match Existing									
S9-B10	S9-B11	Sidewalk Running Slope	5.00	-0.09	-1.8%	0.5% to 5%									
S9-B11	S9-B8	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S9-B11	S9-B3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S9-B11	S9-B12	Sidewalk Running Slope	5.00	0.17	3.4%	0.5% to 5%									
S9-B12	S9-B2	Sidewalk Cross Slope	5.00	-0.07	-1.4%	0.5% to 2%									
S9-B12	S9-B13	Sidewalk Running Slope	5.00	0.18	3.6%	0.5% to 5%									
S9-B13	S9-B1	Match Existing Cross Slope	5.00	-0.09	-1.8%	Match Existing									

DOT	STEG-SIAP-8212(618)-SG-40
MARK	REVISION
Engineer: PDU	Checked By: JWH
Technician: DCM	Date: 12/17/2024
Scale: 1"= 20'	Field Bk: Pg:
Project No: 1240781	
Sheet S.21	

**BEACH STREET PCC REHABILITATION PROJECT**  
**SIDEWALK LAYOUT AND COMPLIANCE INFORMATION**  
**WEBSTER CITY, IA**  
**SNYDER & ASSOCIATES, INC.**  
 2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM



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**SIDEWALK COMPLIANCE**

See S Sheets

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES			
											Point	Station	Offset	Elevation
											S10-A1	S10-A2	Match Existing Cross Slope	5.00
S10-A2	S10-A3	Sidewalk Running Slope	5.00	-0.19	-3.8%	0.5% to 5%					S10-A2	129+80.87	-47.21	1082.48
S10-A3	S10-A4	Ramp Running Slope	10.00	-0.70	-7.0%	0.5% to 8.3%					S10-A3	129+80.85	-42.21	1082.29
S10-A4	S10-A5	Ramp Running Slope	10.24	-0.55	-5.4%	0.5% to 8.3%					S10-A4	129+80.83	-32.21	1081.59
S10-A5	S10-A6	Sidewalk Running Slope	1.52	-0.03	-2.0%	0.5% to 5%					S10-A5	129+90.85	-32.20	1081.04
S10-A6	S10-A7	Crosswalk Cross Slope - Yield Condition	5.24	-0.04	-0.8%	0% to 2%					S10-A6	129+92.37	-32.20	1081.01
S10-A7	S10-A5	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S10-A7	129+90.87	-27.20	1080.97
S10-A7	S10-A8	Ramp Running Slope	10.24	0.55	5.4%	0.5% to 8.3%					S10-A8	129+80.81	-27.21	1081.52
S10-A8	S10-A4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S10-A9	129+75.81	-27.22	1081.59
S10-A8	S10-A9	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S10-A10	129+65.81	-27.25	1082.13
S10-A9	S10-A10	Ramp Running Slope	10.00	0.54	5.4%	0.5% to 8.3%					S10-A11	129+60.81	-27.26	1082.23
S10-A10	S10-A11	Sidewalk Running Slope	5.00	0.10	2.0%	0.5% to 5%					S10-A12	129+60.83	-32.26	1082.30
S10-A11	S10-A12	Match Existing Cross Slope	5.00	0.07	1.4%	Match Existing					S10-A13	129+65.83	-32.25	1082.20
S10-A12	S10-A13	Sidewalk Running Slope	5.00	-0.10	-2.0%	0.5% to 5%					S10-A14	129+75.83	-32.22	1081.66
S10-A13	S10-A10	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S10-A15	129+75.85	-42.22	1082.36
S10-A13	S10-A14	Ramp Running Slope	10.00	-0.54	-5.4%	0.5% to 8.3%					S10-B1	130+25.32	-28.59	1080.90
S10-A14	S10-A9	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S10-B2	130+28.04	-28.58	1080.92
S10-A14	S10-A4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S10-B3	130+37.34	-28.55	1081.60
S10-A14	S10-A15	Ramp Running Slope	10.00	0.70	7.0%	0.5% to 8.3%					S10-B4	130+42.34	-28.53	1081.67
S10-A15	S10-A3	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S10-B5	130+47.34	-28.51	1081.80
S10-A15	S10-A1	Sidewalk Running Slope	5.00	0.17	3.4%	0.5% to 5%					S10-B6	130+47.33	-24.51	1081.77
S10-B1	S10-B2	Sidewalk Running Slope	2.72	0.02	0.7%	0.5% to 5%					S10-B7	130+42.32	-23.53	1081.60
S10-B2	S10-B3	Ramp Running Slope	9.30	0.68	7.3%	0.5% to 8.3%					S10-B8	130+37.32	-23.55	1081.53
S10-B3	S10-B4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S10-B9	130+28.02	-23.58	1080.85
S10-B4	S10-B5	Sidewalk Running Slope	5.00	0.13	2.6%	0.5% to 5%								
S10-B5	S10-B6	Match Existing Cross Slope	4.00	-0.03	-0.8%	Match Existing								
S10-B6	S10-B7	Sidewalk Running Slope	5.10	-0.17	-3.3%	0.5% to 5%								
S10-B7	S10-B4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%								
S10-B7	S10-B8	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%								
S10-B8	S10-B3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%								
S10-B8	S10-B9	Ramp Running Slope	9.30	-0.68	-7.3%	0.5% to 8.3%								
S10-B9	S10-B2	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%								
S10-B9	S10-B1	Crosswalk Cross Slope - Yield Condition	5.71	0.05	0.9%	0% to 2%								

DOT ST6G-SIAP-8212(618)-SG-40

MARK

REVISION

DATE

Engineer: PDJ

Checked By: JWH

Scale: 1"= 20'

Field Bk: Pg:

Technician: DCM

Date: 12/17/2024

Project No: 1240781

Sheet S.22

BEACH STREET PCC REHABILITATION PROJECT

SIDEWALK LAYOUT AND COMPLIANCE INFORMATION

WEBSTER CITY, IA

2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

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# SIDEWALK COMPLIANCE

See S Sheets

113-10  
04-18-17

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES				
											Point	Station	Offset	Elevation	
S11-A1	S11-A2	Match Existing Cross Slope	5.00	-0.09	-1.8%	Match Existing					S11-A1	131+71.34	-44.25	1081.02	
S11-A2	S11-A3	Sidewalk Running Slope	5.00	-0.10	-2.0%	0.5% to 5%					S11-A2	131+76.34	-44.25	1080.93	
S11-A3	S11-A4	Ramp Running Slope	10.00	-0.57	-5.7%	0.5% to 8.3%					S11-A3	131+76.34	-39.25	1080.83	
S11-A4	S11-A5	Ramp Running Slope	8.64	-0.14	-1.6%	0.5% to 8.3%					S11-A4	131+76.34	-29.25	1080.26	
S11-A5	S11-A6	Sidewalk Running Slope	2.42	-0.03	-1.2%	0.5% to 5%					S11-A5	131+87.40	-29.25	1080.12	
S11-A6	S11-A7	Crosswalk Cross Slope - Yield Condition	5.57	-0.04	-0.7%	0% to 2%					S11-A6	131+84.98	-29.25	1080.09	
S11-A7	S11-A5	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S11-A7	131+84.98	-24.25	1080.05	
S11-A7	S11-A8	Ramp Running Slope	8.64	0.14	1.6%	0.5% to 8.3%					S11-A7	131+76.34	-24.25	1080.19	
S11-A8	S11-A4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S11-A8	131+76.34	-17.07	1079.92	
S11-A8	S11-A9	Ramp Running Slope	7.18	-0.27	-3.8%	0.5% to 8.3%					S11-A10	131+71.34	-15.66	1079.83	
S11-A9	S11-A10	Crosswalk Cross Slope - No Yield Condition	5.21	-0.09	-1.7%	0% to 5%					S11-A11	131+71.34	-17.07	1079.87	
S11-A10	S11-A11	Sidewalk Running Slope	1.41	0.04	2.8%	0.5% to 5%					S11-A12	131+71.34	-24.25	1080.26	
S11-A11	S11-A9	Ramp Cross Slope	5.00	0.05	1.0%	0.1% to 2%					S11-A13	131+61.34	-24.25	1080.76	
S11-A11	S11-A12	Ramp Running Slope	7.18	0.39	5.4%	0.5% to 8.3%					S11-A14	131+56.35	-24.25	1080.95	
S11-A12	S11-A8	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S11-A15	131+56.35	-29.25	1080.93	
S11-A12	S11-A13	Ramp Running Slope	10.00	0.50	5.0%	0.5% to 8.3%					S11-A16	131+61.34	-29.25	1080.83	
S11-A13	S11-A14	Sidewalk Running Slope	5.00	0.19	3.8%	0.5% to 5%					S11-A17	131+71.34	-29.25	1080.33	
S11-A14	S11-A15	Match Existing Cross Slope	5.00	-0.02	-0.4%	Match Existing					S11-A18	131+71.34	-39.25	1080.90	
S11-A15	S11-A16	Sidewalk Running Slope	5.00	-0.10	-2.0%	0.5% to 5%					S11-B1	132+32.66	-34.66	1080.26	
S11-A16	S11-A13	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S11-B2	132+37.66	-34.66	1080.29	
S11-A16	S11-A17	Ramp Running Slope	10.00	-0.50	-5.0%	0.5% to 8.3%					S11-B3	132+37.66	-29.66	1080.13	
S11-A17	S11-A12	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S11-B4	132+42.66	-29.66	1080.19	
S11-A17	S11-A4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S11-B5	132+42.66	-24.66	1080.10	
S11-A17	S11-A18	Ramp Running Slope	10.00	0.57	5.7%	0.5% to 8.3%					S11-B6	132+37.66	-24.66	1080.06	
S11-A18	S11-A3	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S11-B7	132+37.66	-16.80	1079.63	
S11-A18	S11-A1	Sidewalk Running Slope	5.00	0.12	2.4%	0.5% to 5%					S11-B8	132+37.66	-15.61	1079.58	
S11-B1	S11-B2	Match Existing Cross Slope	5.00	0.03	0.6%	Match Existing					S11-B9	132+32.66	-16.80	1079.56	
S11-B2	S11-B3	Sidewalk Running Slope	5.00	-0.16	-3.2%	0.5% to 5%					S11-B10	132+32.66	-24.66	1079.99	
S11-B3	S11-B4	Sidewalk Running Slope	5.00	0.06	1.2%	0.5% to 5%					S11-B11	132+22.96	-24.66	1079.43	
S11-B4	S11-B5	Match Existing Cross Slope	5.00	-0.09	-1.8%	Match Existing					S11-B12	132+20.63	-29.66	1079.48	
S11-B5	S11-B6	Sidewalk Running Slope	5.00	-0.04	-0.8%	0.5% to 5%					S11-B13	132+22.96	-29.66	1079.50	
S11-B6	S11-B3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S11-B14	132+32.66	-29.66	1080.06	
S11-B6	S11-B7	Ramp Running Slope	7.86	-0.43	-5.5%	0.5% to 8.3%					S11-C1	132+32.07	16.71	1079.47	
S11-B7	S11-B8	Sidewalk Running Slope	1.19	-0.05	-4.2%	0.5% to 5%	Yes				S11-C2	132+37.07	15.51	1079.53	
S11-B8	S11-B9	Crosswalk Cross Slope - No Yield Condition	5.15	-0.02	-0.4%	0% to 5%					S11-C3	132+37.07	16.71	1079.54	
S11-B9	S11-B7	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S11-C4	132+37.07	27.64	1079.62	
S11-B9	S11-B10	Ramp Running Slope	7.86	0.43	5.5%	0.5% to 8.3%					S11-C5	132+42.07	27.64	1079.81	
S11-B10	S11-B6	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S11-C6	132+47.07	28.64	1079.98	
S11-B10	S11-B11	Ramp Running Slope	9.70	-0.56	-5.8%	0.5% to 8.3%					S11-C7	132+47.07	32.64	1080.07	
S11-B11	S11-B12	Crosswalk Cross Slope - Yield Condition	5.53	0.05	0.9%	0% to 2%					S11-C8	132+42.07	32.64	1079.88	
S11-B12	S11-B13	Sidewalk Running Slope	2.32	0.02	0.9%	0.5% to 5%					S11-C9	132+37.07	32.64	1079.69	
S11-B13	S11-B11	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S11-C10	132+37.07	37.64	1079.82	
S11-B13	S11-B14	Ramp Running Slope	9.70	0.56	5.8%	0.5% to 8.3%					S11-C11	132+37.07	42.64	1079.90	
S11-B14	S11-B3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S11-C12	132+33.07	42.64	1079.88	
S11-B14	S11-B10	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S11-C13	132+32.07	37.64	1079.75	
S11-B14	S11-B1	Sidewalk Running Slope	5.00	0.20	4.0%	0.5% to 5%					S11-C14	132+32.07	32.64	1079.62	
S11-C1	S11-C2	Crosswalk Cross Slope - No Yield Condition	5.16	0.06	1.2%	0% to 5%					S11-C15	132+20.59	32.64	1079.34	
S11-C2	S11-C3	Sidewalk Running Slope	1.20	0.01	0.8%	0.5% to 5%					S11-C16	132+19.14	32.64	1079.31	
S11-C3	S11-C4	Ramp Running Slope	10.93	0.08	0.7%	0.5% to 8.3%					S11-C17	132+20.59	27.64	1079.41	
S11-C4	S11-C5	Sidewalk Running Slope	5.00	0.19	3.8%	0.5% to 5%					S11-C18	132+32.07	27.64	1079.55	
S11-C5	S11-C6	Sidewalk Running Slope	5.10	0.17	3.3%	0.5% to 5%					S11-D1	131+72.00	15.83	1079.54	
S11-C6	S11-C7	Match Existing Cross Slope	4.00	0.09	2.3%	Match Existing					S11-D2	131+77.00	16.97	1079.56	
S11-C7	S11-C8	Sidewalk Running Slope	5.00	-0.19	-3.8%	0.5% to 5%					S11-D3	131+77.00	27.82	1079.95	
S11-C8	S11-C5	Sidewalk Cross Slope	5.00	-0.07	-1.4%	0.5% to 2%					S11-D4	131+88.48	27.82	1079.40	
S11-C8	S11-C9	Sidewalk Running Slope	5.00	-0.19	-3.8%	0.5% to 5%					S11-D5	131+89.90	32.82	1079.37	
S11-C9	S11-C4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S11-D6	131+88.48	32.82	1079.42	
S11-C9	S11-C10	Sidewalk Running Slope	5.00	0.13	2.6%	0.5% to 5%					S11-D7	131+77.00	32.82	1080.02	
S11-C10	S11-C11	Sidewalk Running Slope	5.00	0.08	1.6%	0.5% to 5%					S11-D8	131+77.00	38.14	1080.29	
S11-C11	S11-C12	Match Existing Cross Slope	4.00	-0.02	-0.5%	Match Existing					S11-D9	131+76.07	43.14	1080.36	
S11-C12	S11-C13	Sidewalk Running Slope	5.10	-0.13	-2.5%	0.5% to 5%					S11-D10	131+71.46	43.14	1080.51	
S11-C13	S11-C10	Sidewalk Cross Slope	5.00	0.07	1.4%	0.5% to 2%					S11-D11	131+72.00	38.14	1080.36	
S11-C13	S11-C14	Sidewalk Running Slope	5.00	-0.13	-2.6%	0.5% to 5%					S11-D12	131+67.00	32.82	1080.09	
S11-C14	S11-C9	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S11-D13	131+72.00	32.82	1080.41	
S11-C14	S11-C15	Ramp Running Slope	11.47	-0.28	-2.4%	0.5% to 8.3%					S11-D14	131+62.00	32.45	1080.56	
S11-C15	S11-C16	Sidewalk Running Slope	1.51	-0.03	-2.0%	0.5% to 5%					S11-D15	131+62.00	28.14	1080.38	
S11-C16	S11-C17	Crosswalk Cross Slope - Yield Condition	5.22	0.10	1.9%	0% to 2%					S11-D16	131+67.00	27.82	1080.34	
S11-C17	S11-C15	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S11-D17	131+72.00	27.82	1080.02	
S11-C17	S11-C18	Ramp Running Slope	11.47	0.14	1.2%	0.5% to 8.3%					S11-D18	131+72.00	16.97	1079.58	
S11-C18	S11-C14	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S11-C18	S11-C1	Ramp Running Slope	10.93	-0.08	-0.7%	0.5% to 8.3%									
S11-D1	S11-D2	Crosswalk Cross Slope - No Yield Condition	5.14	0.02	0.4%	0% to 5%									
S11-D2	S11-D3	Ramp Running Slope	10.85	0.39	3.6%	0.5% to 8.3%									
S11-D3	S11-D4	Ramp Running Slope	11.48	-0.55	-4.8%	0.5% to 8.3%									
S11-D4	S11-D5	Crosswalk Cross Slope - Yield Condition	5.21	-0.03	-0.6%	0% to 2%									
S11-D5	S11-D6	Sidewalk Running Slope	1.43	0.05	3.5%	0.5% to 5%									

**BEACH STREET PCC REHABILITATION PROJECT**  
SIDEWALK LAYOUT AND COMPLIANCE INFORMATION  
**SNYDER & ASSOCIATES, INC.**  
WEBSTER CITY, IA  
2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | WWW.SNYDER-ASSOCIATES.COM



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## SIDEWALK COMPLIANCE

See S Sheets

113-10  
04-18-17

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES				
											Point	Station	Offset	Elevation	
											S11-D6	S11-D4	Ramp Cross Slope	5.00	-0.02
S11-D6	S11-D7	Ramp Running Slope	11.48	0.60	5.2%	0.5% to 8.3%									
S11-D7	S11-D8	Ramp Running Slope	5.00	0.27	5.4%	0.5% to 8.3%									
S11-D8	S11-D9	Sidewalk Running Slope	5.09	0.07	1.4%	0.5% to 5%									
S11-D9	S11-D10	Match Existing Cross Slope	4.50	0.15	3.3%	Match Existing									
S11-D10	S11-D11	Sidewalk Running Slope	5.09	-0.15	-2.9%	0.5% to 5%									
S11-D11	S11-D8	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%									
S11-D11	S11-D12	Ramp Running Slope	5.00	-0.27	-5.4%	0.5% to 8.3%									
S11-D12	S11-D7	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S11-D12	S11-D13	Ramp Running Slope	5.00	0.32	6.4%	0.5% to 8.3%									
S11-D13	S11-D14	Sidewalk Running Slope	5.01	0.15	3.0%	0.5% to 5%									
S11-D14	S11-D15	Match Existing Cross Slope	4.31	-0.18	-4.2%	Match Existing									
S11-D15	S11-D16	Sidewalk Running Slope	5.05	-0.04	-0.8%	0.5% to 5%									
S11-D16	S11-D13	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%									
S11-D16	S11-D17	Ramp Running Slope	5.00	-0.32	-6.4%	0.5% to 8.3%									
S11-D17	S11-D12	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S11-D17	S11-D3	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S11-D17	S11-D18	Ramp Running Slope	10.85	-0.44	-4.1%	0.5% to 8.3%									
S11-D18	S11-D2	Ramp Cross Slope	5.00	-0.02	-0.4%	0.1% to 2%									
S11-D18	S11-D1	Sidewalk Running Slope	1.14	-0.04	-3.5%	0.5% to 5%									

DOT | STG-SIAP-8212(6/18)-SG-40

MARK  
 Engineer: PDU  
 Technician: DCM

REVISION  
 Checked By: JWH  
 Date: 12/17/2024

DATE  
 Scale: 1"= 20'  
 Field Bk: Pgs:

BEACH STREET PCC REHABILITATION PROJECT  
 SIDEWALK LAYOUT AND COMPLIANCE INFORMATION  
 WEBSTER CITY, IA  
**SNYDER & ASSOCIATES, INC.**  
 2727 SW SNYDER BLVD  
 ANKENY, IOWA 50023  
 515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

**SNYDER & ASSOCIATES**

Project No: 1240781

Sheet S.24

## SIDEWALK COMPLIANCE

See S Sheets

113-10  
04-18-17

- \* Does not include curb
- ① Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
- ② Refer to tabulation 113-01 for bid quantities.

Point to Point	Sidewalk Designation	- " PCC Sidewalk ②	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? ①	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES				
											Point	Station	Offset	Elevation	
											S12-A1	S12-A2	Match Existing Cross Slope	4.00	-0.03
S12-A2	S12-A3	Sidewalk Running Slope	5.00	-0.17	-3.4%	0.5% to 5%					S12-A2	135+12.52	-41.03	1079.82	
S12-A3	S12-A4	Ramp Running Slope	5.00	-0.16	-3.2%	0.5% to 8.3%					S12-A3	135+12.98	-36.06	1079.65	
S12-A4	S12-A5	Ramp Running Slope	8.84	-0.32	-3.6%	0.5% to 8.3%					S12-A4	135+12.99	-31.06	1079.49	
S12-A5	S12-A6	Sidewalk Running Slope	1.92	-0.02	-1.0%	0.5% to 5%					S12-A5	135+22.09	-31.01	1079.17	
S12-A6	S12-A7	Crosswalk Cross Slope - Yield Condition	5.35	-0.05	-0.9%	0% to 2%					S12-A6	135+24.00	-30.98	1079.15	
S12-A7	S12-A5	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S12-A7	135+22.06	-26.01	1079.10	
S12-A7	S12-A8	Ramp Running Slope	8.84	0.32	3.6%	0.5% to 8.3%					S12-A8	135+13.00	-26.06	1079.42	
S12-A8	S12-A4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S12-A9	135+13.02	-17.30	1079.00	
S12-A8	S12-A9	Ramp Running Slope	8.76	-0.42	-4.8%	0.5% to 8.3%					S12-A10	135+08.03	-15.86	1079.06	
S12-A9	S12-A10	Crosswalk Cross Slope - No Yield Condition	5.21	0.06	1.2%	0% to 5%					S12-A11	135+08.02	-17.29	1079.07	
S12-A10	S12-A11	Sidewalk Running Slope	1.42	0.01	0.7%	0.5% to 5%					S12-A12	135+08.00	-26.05	1079.49	
S12-A11	S12-A12	Ramp Running Slope	8.76	0.42	4.8%	0.5% to 8.3%					S12-A13	135+03.00	-26.04	1079.59	
S12-A12	S12-A8	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S12-A14	135+03.00	-30.04	1079.70	
S12-A12	S12-A13	Sidewalk Running Slope	5.00	0.10	2.0%	0.5% to 5%					S12-A15	135+07.99	-31.05	1079.56	
S12-A13	S12-A14	Match Existing Cross Slope	4.00	0.11	2.8%	Match Existing					S12-A16	135+07.98	-36.05	1079.72	
S12-A14	S12-A15	Sidewalk Running Slope	5.10	-0.14	-2.7%	0.5% to 5%					S12-B1	135+66.58	-43.54	1080.83	
S12-A15	S12-A12	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S12-B2	135+70.58	-43.53	1080.96	
S12-A15	S12-A4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S12-B3	135+71.48	-38.52	1080.75	
S12-A15	S12-A16	Ramp Running Slope	5.00	0.16	3.2%	0.5% to 8.3%					S12-B4	135+71.33	-31.52	1080.23	
S12-A16	S12-A3	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S12-B5	135+78.33	-31.49	1080.71	
S12-A16	S12-A1	Sidewalk Running Slope	5.01	0.13	2.6%	0.5% to 5%					S12-B6	135+83.31	-30.47	1080.90	
S12-B1	S12-B2	Match Existing Cross Slope	4.00	0.13	3.3%	Match Existing					S12-B7	135+83.23	-26.47	1080.79	
S12-B2	S12-B3	Sidewalk Running Slope	5.10	-0.21	-4.1%	0.5% to 5%	Yes				S12-B8	135+78.23	-26.49	1080.64	
S12-B3	S12-B4	Ramp Running Slope	7.00	-0.52	-7.4%	0.5% to 8.3%	Yes				S12-B9	135+71.23	-26.52	1080.16	
S12-B4	S12-B5	Ramp Running Slope	7.00	0.48	6.9%	0.5% to 8.3%					S12-B10	135+71.05	-17.99	1079.61	
S12-B5	S12-B6	Sidewalk Running Slope	5.10	0.19	3.7%	0.5% to 5%					S12-B11	135+71.01	-16.07	1079.54	
S12-B6	S12-B7	Match Existing Cross Slope	4.00	-0.11	-2.8%	Match Existing					S12-B12	135+66.05	-18.00	1079.58	
S12-B7	S12-B8	Sidewalk Running Slope	5.00	-0.15	-3.0%	0.5% to 5%					S12-B13	135+66.23	-26.54	1080.09	
S12-B8	S12-B5	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S12-B14	135+57.95	-26.58	1079.69	
S12-B8	S12-B9	Ramp Running Slope	7.00	-0.48	-6.9%	0.5% to 8.3%					S12-B15	135+56.31	-31.59	1079.74	
S12-B9	S12-B4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S12-B16	135+57.96	-31.58	1079.76	
S12-B9	S12-B10	Ramp Running Slope	8.43	-0.55	-6.5%	0.5% to 8.3%					S12-B17	135+66.33	-31.54	1080.16	
S12-B10	S12-B11	Sidewalk Running Slope	1.92	-0.07	-3.6%	0.5% to 5%					S12-B18	135+66.48	-38.54	1080.68	
S12-B11	S12-B12	Crosswalk Cross Slope - No Yield Condition	5.34	0.04	0.7%	0% to 5%					S12-C1	135+66.77	17.39	1079.02	
S12-B12	S12-B10	Ramp Cross Slope	5.00	0.03	0.6%	0.1% to 2%					S12-C2	135+71.77	17.40	1079.08	
S12-B12	S12-B13	Ramp Running Slope	8.43	0.51	6.0%	0.5% to 8.3%					S12-C3	135+71.77	15.83	1079.09	
S12-B13	S12-B9	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S12-C4	135+71.76	22.40	1079.17	
S12-B13	S12-B14	Ramp Running Slope	8.28	-0.40	-4.8%	0.5% to 8.3%					S12-C5	135+71.75	27.40	1079.24	
S12-B14	S12-B15	Crosswalk Cross Slope - No Yield Condition	5.28	0.05	0.9%	0% to 5%					S12-C6	135+71.74	32.40	1079.34	
S12-B15	S12-B16	Sidewalk Running Slope	1.64	0.02	1.2%	0.5% to 5%					S12-C7	135+66.74	32.39	1079.30	
S12-B16	S12-B14	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S12-C8	135+66.75	27.39	1079.17	
S12-B16	S12-B17	Ramp Running Slope	8.28	0.40	4.8%	0.5% to 8.3%					S12-C9	135+66.76	22.39	1079.10	
S12-B17	S12-B13	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%					S12-D1	135+08.34	15.69	1079.12	
S12-B17	S12-B4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%					S12-D2	135+13.34	16.55	1079.22	
S12-B17	S12-B18	Ramp Running Slope	7.00	0.52	7.4%	0.5% to 8.3%	Yes				S12-D3	135+13.35	21.19	1079.31	
S12-B18	S12-B3	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%					S12-D4	135+13.37	26.19	1079.24	
S12-B18	S12-B1	Sidewalk Running Slope	5.00	0.15	3.0%	0.5% to 5%					S12-D5	135+12.38	31.19	1079.10	
S12-C1	S12-C2	Crosswalk Cross Slope - No Yield Condition	5.25	0.06	1.1%	0% to 5%					S12-D6	135+08.38	31.20	1079.10	
S12-C2	S12-C3	Sidewalk Running Slope	1.57	0.01	0.6%	0.5% to 5%					S12-D7	135+08.37	26.20	1079.17	
S12-C3	S12-C1	Ramp Cross Slope	5.00	-0.07	-1.4%	0.1% to 2%					S12-D8	135+08.35	21.20	1079.24	
S12-C3	S12-C4	Ramp Running Slope	5.00	0.08	1.6%	0.5% to 8.3%					S12-D9	135+08.34	16.56	1079.15	
S12-C4	S12-C5	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S12-C5	S12-C6	Sidewalk Running Slope	5.00	0.10	2.0%	0.5% to 5%									
S12-C6	S12-C7	Match Existing Cross Slope	5.00	-0.04	-0.8%	Match Existing									
S12-C7	S12-C8	Sidewalk Running Slope	5.00	-0.13	-2.6%	0.5% to 5%									
S12-C8	S12-C5	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S12-C8	S12-C9	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S12-C9	S12-C4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S12-C9	S12-C1	Ramp Running Slope	5.00	-0.08	-1.6%	0.5% to 8.3%									
S12-D1	S12-D2	Crosswalk Cross Slope - No Yield Condition	5.08	0.10	2.0%	0% to 5%									
S12-D2	S12-D3	Ramp Running Slope	5.00	0.09	1.8%	0.5% to 8.3%									
S12-D3	S12-D4	Landing/Turning Space	5.00	-0.07	-1.4%	0.1% to 2%									
S12-D4	S12-D5	Sidewalk Running Slope	5.10	-0.14	-2.7%	0.5% to 5%									
S12-D5	S12-D6	Match Existing Cross Slope	4.00	0.00	0.0%	Match Existing									
S12-D6	S12-D7	Sidewalk Running Slope	5.00	0.07	1.4%	0.5% to 5%									
S12-D7	S12-D4	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S12-D7	S12-D8	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S12-D8	S12-D3	Landing/Turning Space	5.00	0.07	1.4%	0.1% to 2%									
S12-D8	S12-D9	Ramp Running Slope	5.00	-0.09	-1.8%	0.5% to 8.3%									
S12-D9	S12-D2	Ramp Cross Slope	5.00	0.07	1.4%	0.1% to 2%									
S12-D9	S12-D1	Sidewalk Running Slope	0.87	-0.03	-3.4%	0.5% to 5%									

DOT STG-SIAP-8212618--SG-40

MARK REVISION  
Checked By: JWH  
Engineer: PDJ  
Technician: DCM

DATE  
1/20  
Scale: 1"=20'  
Field Bk:  
Pg:

Project No: 1240781

Sheet S.25

BEACH STREET PCC REHABILITATION PROJECT

SIDEWALK LAYOUT AND COMPLIANCE INFORMATION

WEBSTER CITY, IA

2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | WWW.SNYDER-ASSOCIATES.COM

**SNYDER & ASSOCIATES, INC.**

Project No: 1240781

Sheet S.25

**AGENDA STATEMENT**

**TO:** Mayor and City Council

**FROM:** Brandon Bahrenfuss, Street Department Supervisor  
John Harrenstein, City Manager

**DATE:** March 3, 2025

**RE:** Adopt a Resolution Authorizing the City Manager to Sign and Execute Amendment No. 36 to the On-Call Street Paving Specialist Agreement with Snyder and Associates Inc. to provide additional Professional Services needed for Summer 2025 HMA Street Improvements Project.

**SUMMARY:** In 2021 the City hired Snyder and Associates to conduct a Pavement Management Report. The objective of this study included; the collection of pavement condition data for approximately 50 centerline miles, determination of the Pavement Condition Index (PCI) of the individual roadways, development of pavement condition maps, determination of pavement treatment types, unit costs and trigger values to implement pavement improvements, analysis off the effects for various budgets, and development of a 5-year capital improvement plan. The study recommended the city set aside \$1,000,000 on an annual basis as shown in the table below:

Category	Amount	Activities
Capital	\$700,000	Reconstruction, overlays
Rehabilitation	\$250,000	Pavement patching, diamond grinding,
Maintenance	\$50,000	Crack and joint seal, pothole patching

**PREVIOUS COUNCIL ACTION:** City Council approved an agreement with Snyder and Associates to provide On-Call Paving Specialist Services on February 6, 2017.

**BACKGROUND/DISCUSSION:** There are nine separate locations in this project with six of them being part of the base bid and three being bid alternatives. They include:

Base Bid:	PCI Rating
1. Clark Mollenhoff Drive from RR Right-of-Way to County Line	Very Poor 0-20
2. Elm Street from Beach Street to Lynx Avenue	Poor 21-40
3. Kathy Lane from Sunset Drive to Beach Street	Poor 21-40
4. Woolsey Avenue from Elm Street to Bank Street	Fair 21-40
5. Madsen Avenue from Elm Street to Bank Street	Poor 21-40
6. Walnut Street from Beach Street to Lynx Avenue	Poor 21-40

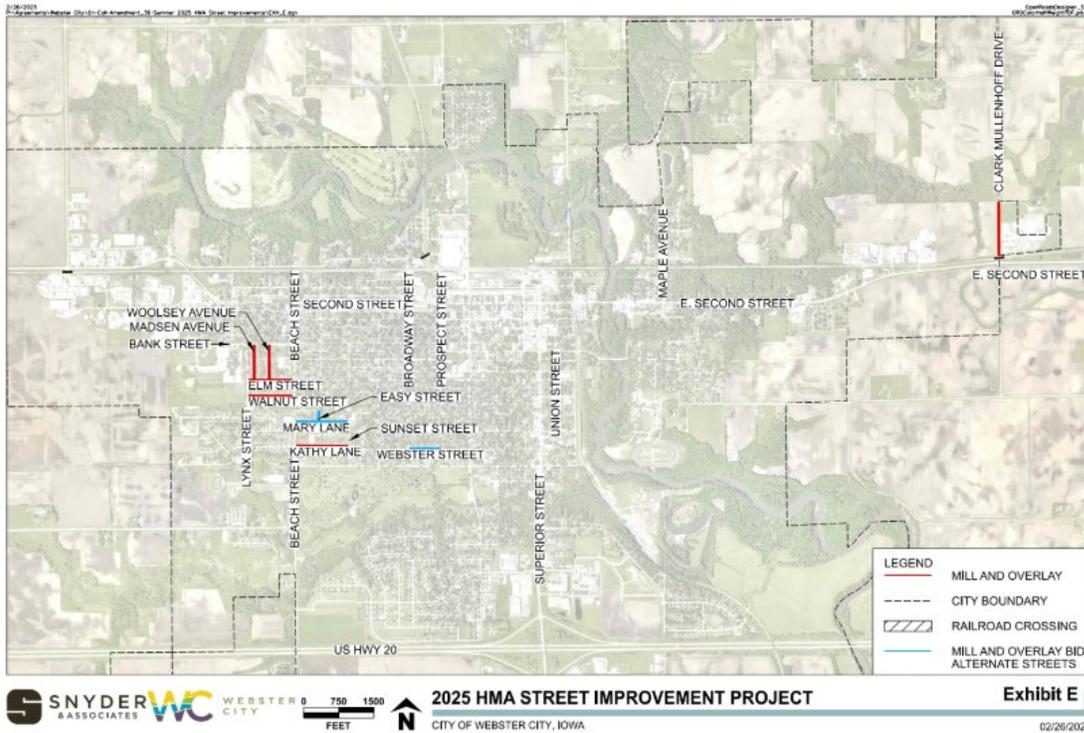
**Bid Alternative:**

- |   |            |
|---|------------|
| 7. Easy Street from Mary Lane to Meadow Lane              | Fair 41-60 |
| 8. Mary Lane from Sunset Drive to Beach Street            | Fair 41-60 |
| 9. Webster Street from Broadway Street to Prospect Street | Poor 21-40 |

The project includes, segments of curb and gutter replacement, pavement milling, HMA resurfacing, traffic control and staging plans, and utility fixture adjustments. Full depth repairs will be identified and cored out by the City and filled with suitable compacted material. ADA ramp compliance will be included in the areas specified. Utility pipe or structure replacements are not anticipated for these locations.

**The anticipated schedule for the project is as follows:**

City Council Approve Contract	March 3, 2025
City Complete Curb and Gutter Replacement ID	March 7, 2025
Complete Topographic Survey	March 12, 2025
Submit Preliminary Plans	March 21, 2025
PMT Meeting to review plans	March 25, 2025
IDNR Permit (if necessary)	April 7, 2025
Temporary Easements Obtained by City	N/A
Complete Final Plans and Contract Documents	April 1, 2025
City Council set Letting and Hearing Dates	April 7, 2025
Bid Letting	April 29, 2025
Memo-Engineer Letter of Recommendation	May 1, 2025
City Council Hearing / Review Bids / Contract Award	May 5, 2025
Preconstruction Meeting	May 27, 2025
Start Construction	June 2, 2025
Substantial Completing	August 15, 2025
Project Closeout	September 19, 2025



**FINANCIAL IMPLICATIONS:** Amendment No. 36 is estimated to cost \$136,700. This project will be absorbed through the LOSST funds.

**RECOMMENDATION:** Staff recommends the City Council adopt a resolution authorizing the City Manager to sign and execute Amendment No. 36 with Snyder and Associates to provide professional services for the Summer 2025 HMA Street Improvements Project.



**RESOLUTION NO. 2025 -**

**RESOLUTION AUTHORIZING THE CITY MANAGER TO SIGN AND EXECUTE AMENDMENT NO.36 WITH  
SNYDER AND ASSOCIATES TO PROVIDE PROFESSIONAL SERVICES NEEDED  
FOR THE SUMMER 2025 HMA STREET IMPROVEMENT PROJECT**

**WHEREAS**, on February 6, 2017 the City of Webster City did enter an On-Call Street Paving Specialist Agreement with Snyder and Associates, Inc. Ankeny Iowa; and

**WHEREAS**, the City of Webster City will utilize the services of its consulting engineer, Snyder and Associates, to perform services noted in the attached as Exhibit "A";

**WHEREAS**, said professional services shall be governed by and construed in accordance with the laws of the State of Iowa and local municipal code; and

**NOW THEREFORE BE IT RESOLVED**, by the City Council of the City of Webster City, Iowa as follows:

**SECTION 1:** Authorizes the City Manager to sign and execute Amendment Number 36 with Snyder and Associates to provide professional services needed for the Summer 2025 HMA Street Improvement Project.

Passed and adopted this 3rd day of March, 2025.

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John Hawkins, Mayor

ATTEST:

---

Sherry Simmons, City Clerk

# WEBSTER CITY, IOWA

## AMENDMENT No. 36 TO THE AGREEMENT FOR PROFESSIONAL SERVICES FOR THE ON-CALL STREET PAVING SPECIALIST

This Amendment to the Agreement for Engineering Services is made and entered into on the date hereinafter stated under City's signature, between the City of Webster City ("City"), Iowa, and Snyder & Associates, Inc. ("Professional").

For work on the On-Call Street Paving Specialist, the parties agree as follows:

1. **Engagement.** The City hereby engages the Professional to perform all work necessary to provide all services as described in the Scope of Work in connection with this Amendment to the Contract.
2. **Scope of Work.** The Professional shall perform in a competent and professional manner, the scope of work as set forth in **Exhibit "A"** attached hereto and by reference incorporated herein.
3. **Completion.** The Professional shall commence work immediately upon receipt of a written notice from the City and complete the Scope of Work in an expeditious and professional manner as set forth in **Exhibit "B"** attached hereto and by reference incorporated herein.
4. **Payment.** The prices for work performed by the Professional on this Amendment shall not exceed those prices as set forth in **Exhibit "C"** attached hereto and by reference incorporated herein.
5. **Fee Schedule.** Billing rates for work performed under this Agreement shall be in accordance with **Exhibit "D"**.
6. **Project Location Maps.** Project location maps depicting the limits and Scope of Work are included in this Agreement as **Exhibit "E"**.

**IN WITNESS WHEREOF**, the parties hereto have executed, or caused to be executed by their duly authorized officials, this Amendment to the Agreement. All provisions of the Agreement shall remain in full force and effect.

CITY OF WEBSTER CITY, IOWA

---

John Harrenstein, City Manager

Dated: March 3, 2025

SNYDER & ASSOCIATES, INC.

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## **EXHIBIT “A” SCOPE OF WORK**

To accomplish the City’s mission of providing quality street, alley, electric, water, wastewater, and storm water services for its customers, it owns and maintains streets and alleys with appurtenant structures, electric facilities with appurtenant structures, water treatment and distribution systems, wastewater collection and treatment systems and storm water collection systems within public rights-of-way.

### **I. GENERAL**

#### **SUMMER 2025 HMA STREET IMPROVEMENTS PROJECT**

This Scope of Services is for the preliminary and final design, topographic survey, utility coordination, public engagement, plan preparation, contract documents, bid assistance services, and construction services for the Summer 2025 HMA Street Improvements Project, to be known as the Project. The Project consists of HMA reconstruction, milling, overlay, asphaltic surface treatments, curb and gutter replacement, ADA ramp and sidewalk improvements within the City of Webster City at 9 locations:

1. Clark Mollenhoff Drive from RR Right-of-Way to County Line;
2. Elm Street from Beach Street to Lynx Avenue;
3. Kathy Lane from Sunset Drive to Beach Street;
4. Woolsey Avenue from Elm Street to Bank Street;
5. Madsen Avenue from Elm Street to Bank Street;
6. Walnut Street from Beach Street to Lynx Avenue;
7. Webster Street from Broadway Street to Prospect Street as a bid alternate;
8. Easy Street from Mary Lane to Meadow Lane as a bid alternate; and,
9. Mary Lane from Sunset Drive to Beach Street as a bid alternate;

Location 1-9: Consists of segments of curb and gutter replacement identified by the City, pavement milling, 3” HMA resurfacing, traffic control and staging plans, and utility fixture adjustments. Previously reconstructed intersections are excluded. All full depth repairs will be identified, cored out and filled with suitable compacted material by the City. ADA ramp compliance will be included in areas noted. Other areas will be addressed with the City’s ADA Transition Plan. Utility pipe or structure replacements are not anticipated for these locations. It is anticipated that three of these locations will be bid as bid alternates.

A staging plan will be developed to maintain access to residences and businesses during construction with limited impact. It is anticipated that signed detour routing for Locations 1 through 9 will NOT be required.

Also, Locations 1 through 9 scope does not include the acquisition of temporary or permanent easement plats, exhibits, or acquisitions.

One plan set will be prepared for the Project for letting in Spring 2025 for completion in Summer 2025.

## II. BASIC SERVICES

### A. PROJECT DEVELOPMENT

An initial project meeting will be held with the City to establish lines of communication regarding elements of the scope and schedule, set design parameters for the Project, and review replacement locations. An additional meeting will be held for the purpose of reviewing design, documenting City-identified curb and gutter replacement, coordinating with design professionals for other projects in the area, coordinating with utility companies, and reviewing budget considerations as the Project progresses.

### B. PROJECT ADMINISTRATION

For the duration of the Project, the Professional will confer with the City for the purpose of accomplishing the following:

1. Necessary project coordination efforts by the Professional to assure proper integration of participation levels from the Professional's staff, the City, stakeholders in the project area, developers, and necessary agencies. A Project Management Team (PMT) will be developed, and periodic meetings will be held to ensure the Project schedule is maintained.
2. The Professional shall work with the City to develop a schedule for the Project. Anticipated preliminary schedule is outlined in Exhibit "B".
3. The Professional will contact the appropriate utility companies to notify utility providers of the Project. Utility locations are not planned to be surveyed or mapped within the Project's construction area. Utility relocation and potholing activities are not anticipated.
4. To obtain from the City, as necessary, approvals and policy decisions regarding the Project.
5. The Professional will provide the City with a monthly project status report. This written report will be submitted in such a way that it is suitable for the use as a City Council information item. Accompanying this report at monthly intervals, the Professional will submit a certified invoice for allowable cost incurred for the performance of the Project agreement. Invoice statements will be based on actual costs incurred by the Professional per invoice period. All invoices will be documented, detailing the work performed by the Professional during the invoice period.

### C. PRELIMINARY SURVEY

A preliminary survey is to be provided for Locations 4, 5, and 8 for sidewalk curb ramps. Curb and gutter replacements and mill and fill portions are intended to match existing conditions and existing drainage, with no grade correction.

### D. DESIGN, PLANS, AND CONTRACT DOCUMENTS

The Professional will prepare design and plan documents for the Project for review, comment, and coordination. Locations 1 through 9 plans will address HMA mill and fill street resurfacing, micro surfacing, slurry seal, adjustment of fixtures, traffic control, and maintenance of access. Meetings will be held with the City to review the design.

Geotechnical Services have not been included with the design but may be warranted for consultation during construction activities to evaluate subsurface conditions. Pavement coring services have not been included.

Pavement rehabilitation design and treatment selection will be based on the City's direction.

The Professional will prepare plans for bidding in accordance with the City's process. Plan sets will include construction details, layout information, tabulations, and quantities. Production will include submittal of preliminary plans (60%), final plans (100%), and contract documents for review and approval. All plans will be created on bond paper, with an 11" x 17" size. Final Plans will be certified by a Licensed Professional Engineer, licensed in the State of Iowa.

This Project will be let by the City, and the Professional shall supply the necessary documents for this process. The Professional shall prepare the final special provisions that will be included in the contract documents. Also included in the special provisions will be working day and liquidated damage requirements and project related information for the NPDES permit requirements, when applicable.

The Professional will obtain all required permits from the Iowa Department of Natural Resources. Permit fees will be reimbursed by the City to the Professional. An NPDES General Permit No. 2 is not anticipated for this project.

The Professional will prepare cost opinions for both the preliminary and final plan submittal. Opinions of probable construction cost prepared by the Professional represent the best judgment of a design professional familiar with the construction industry. It is recognized, however that the Professional has no control over the cost of labor, materials or equipment over the contractor's methods of determining bid prices, or over the competitive bidding or market conditions. Accordingly, the Professional does not guarantee that any actual cost will not vary from any cost opinion prepared by the Professional.

#### E. PUBLIC PARTICIPATION

The Professional will prepare information letters to affected residents within the project improvement areas detailing the Project, impact, and schedule. The information letters will be mailed to the properties by the City. The Professional anticipates the preparation of two separate letters. The Professional will develop the mailing list based on the City's direction.

### III. CONSTRUCTION SERVICES

#### A. CONSTRUCTION ADMINISTRATION

Upon award of the initial construction contracts, the Professional shall perform the following administrative services during construction of the Project:

1. During the construction phases, the Professional shall specify the testing of materials and administrative procedures as per the City's requirements and as directed by the Professional.
2. Public Communication, the Professional will review and approve the contractor's handbills and door hanger notices prior to distributing to residents and businesses affected by the construction.
3. Preconstruction Conferences - The Professional shall arrange and conduct preconstruction conferences with the contractors and City, to review the contract requirements, details of construction, utility conflicts and work schedule prior to construction.

4. Site Observation – The Professional shall visit the construction site, at such times and with such frequency deemed necessary to (a) observe the progress and (b) determine if the results of the construction work substantially conform to the drawings and specifications in the Construction Documents.
5. Contractor Payment Requests - The Professional shall review the requests of the contractor for monthly progress payments and shall approve a request, based on site observations, which authorizes payments and is a declaration that the contractor's work has progressed to the point indicated.
6. Notification of Nonconformance - The Professional shall notify the City of any known work which does not conform to the construction contract, make recommendations to the City for the correction of nonconforming work and, at the request of the City, see that these recommendations are implemented by the contractor.
7. Materials submittals and materials test reports. - The Professional shall review materials compliance information and other submissions of the contractor for general compliance with the construction contract. No shop drawing reviews are anticipated.
8. Change Orders - The Professional shall prepare change orders for approval of the City.
9. Substantially Complete and Final Site Observation - The Professional shall perform a site observation to determine if the Project is substantially complete according to the plans and specifications and make a recommendation on final payment for each construction phase.
10. During the Construction Services Phase, the Professional shall confer with the City to report Project status. A written progress report shall be submitted and written in such a way that it is suitable for use as a City Council information item.
11. If the contractor exceeds the estimated working days in completing construction of the Project for any of the Project lettings, or if change orders or project additions require additional working days, the Professional will be compensated for administration and observation services based on established hourly rates and fixed expenses, as agreed, and amended by the parties to this Agreement.
12. Final Acceptance - It is understood that the City will accept any portion of the Project only after recommendation by the Professional. Final acceptance of the Project by the City shall not be deemed to release the Contractor from responsibility for insuring that the work is done in a good and workmanlike manner, free of defects in materials and workmanship nor the Professional for liability of design.

## B. CONSTRUCTION OBSERVATION

The Professional will provide one or more Construction Observer for the Project during the construction phase. This may be periodic or full time as determined by the Professional based on the type of construction activity and contractor's schedule. At a minimum observation will include the beginning portions of all phases and full-time services during milling and street surfacing operations. Examples of periodic observation services for this project include traffic control setups, grading, fixture adjustments, erosion control placement, and surface restoration. City performed core outs and compacted backfill will be identified by the Professional and City, then observed and documented by City personnel.

If the contractor requests a waiver of any provisions of the plans and specifications, the Professional will make a recommendation on the request to the City for their determination. No waiver shall be granted if such waiver would serve to reduce the quality of the final product. The City shall never be deemed to have authorized the Professional to consent to the use of defective workmanship or materials.

The Construction Observer will give guidance to the project during the construction periods, including the following:

1. Marking paving and removal limits.
2. Setting and/or checking of lines and grades required during construction.
3. Observation of the work for general compliance with plans and specifications.
4. Keep a record or log of contractor's activities throughout construction, including notation on the nature and cost of any extra work or changes ordered during construction.
5. Resident Construction Services provide the City with representation at the job site during the Construction Phases of the Project which results in increasing the probability that the Project will be constructed in substantial compliance with the plans and specifications, and Contract Documents. However, such Resident Construction Services do not guarantee the contractor's performance. Resident services do not include responsibility for construction means, controls, techniques, sequences, procedures, or safety.
6. The Resident Engineer or Construction Observer shall coordinate the acceptance testing and monitoring according to City requirements. Assurance sampling, pavement density testing, cores and source inspection required is not expected to be provided by the Professional. All material testing and inspection shall be provided either by the Professional or by the construction contractor with review for acceptance, rejection or reduced payment by the Professional.

## C. CONSTRUCTION SURVEY

The Professional shall perform the following Construction Survey for the Project as specified in 2025 Iowa SUDAS Standard Specifications Division 11 Section 11,010 for ADA ramp construction.

## D. RECORD DRAWINGS

Record Drawings are not anticipated for this project.

E. MONUMENT PRESERVATION SURVEY

The Professional shall prepare a Monument Preservation Certificate in accordance with Iowa Code 355.6A. This document may include, but not be limited to, identifying the existing monuments within the project corridor, and replacing any monument disturbed or removed at its preserved position. The results of this survey will be provided to the City for their record and recorded with the Hamilton County Recorder's Office.

IV. ADDITIONAL SERVICES:

The following items shall be considered additional services and are not included within the Scope of Services. These items are listed to further assist with clarity of project scope as well as provide a listing of services, which the Professional could perform upon request.

- A. Assessment Plats and Schedules
- B. Permanent Easement Plats and/or Acquisition Plats
- C. Right-of-way Services
- D. Submittal fees and/or permit fees to any and all regulatory agencies
- E. Additional topographic surveys.
- F. Environmental Services
- G. Railroad Permitting
- H. Geotechnical Services
- I. Utility Potholes
- J. Title Reports
- K. Client requested major revisions

All work is on an "as needed" basis and work on each Project shall be as directed by the City. Costs for each project assigned shall be negotiated as 'lump sum,' 'not to exceed,' or performed on a 'time and materials' basis, as mutually agreed and detailed in Exhibit "C."

Responsible persons assigned to this project shall be:

City – Brandon Bahrenfuss, Street Department Superintendent  
Dedra Nerland, Public Works Management Assistant

Professional – John Haldeman, P.E., Project Manager



**EXHIBIT “B”  
COMPLETION**

Professional shall commence work immediately upon receipt of a written Notice to Proceed from the City and shall complete all phases of the Scope of Work as expeditiously as is consistent with professional skill and care and the orderly progress of the Work in a timely manner. Project schedule assumes no significant franchise utility relocation delays are experienced.

The anticipated preliminary schedule for the Project is as follows:

Task	Location 1 – 9* Completion Date
City Council Approve Contract	March 3, 2025
City Complete Curb and Gutter Replacement ID	March 7, 2025
Complete Topographic Survey	March 12, 2025
Submit Preliminary Plans	March 21, 2025
PMT Mtg to review plans	March 25, 2025
IDNR Permit (if Necessary)	April 7, 2025
Temporary Easements Obtained by City	N/A
Complete Final Plans and Contract Documents	April 1, 2025
City Council set Letting and Hearing Dates	April 7, 2025
Bid Letting	April 29, 2025
Memo – Engineer Letter of Recommendation	May 1, 2025
City Council Hearing / Review Bids / Contract Award	May 5, 2025
Preconstruction Meeting	Week of May 27, 2025
Start Construction	June 2, 2025 (early)
Substantial Completion	August 15, 2025
Project Closeout	September 19, 2025

\*Project schedule assumes no franchise utility relocations are required.

N/A = Not Applicable

Upon request of the City, Professional shall submit, for the City's approval, a schedule for the performance of Professional's services which shall be adjusted as required as the project proceeds, and which shall include allowances for periods of time required by the City for review and approval of submissions and for approvals of authorities having jurisdiction over the project. This schedule, when approved by the City, shall not, except for reasonable cause, be exceeded by the Professional.

All other incidental completion dates required to complete work under this Agreement shall be adhered to as stipulated.

**EXHIBIT “C”  
PAYMENT**

COMPENSATION

Below is a table summarizing the Professional’s fees for the scope of services outlined in this Exhibit “A”. Fees will be invoiced and paid on an hourly rate plus expenses basis not to exceed amount and rates will be accrued in accordance with the Professional’s 2025-2026 Standard Fee Schedule contained in Exhibit “D” of this Amendment No. 36 to the Agreement for Professional Services.

**Basic Services**

Project Administration	\$	18,600
Topographic Survey	\$	4,000
Preliminary Design and Plans	\$	37,900
Final Design and Plans	\$	12,700
Bid Letting Services	\$	3,600
	Subtotal	\$ 76,800

**Construction Services**

Construction Administration	\$	13,100
Construction Staking	\$	1,000
Construction Observation	\$	45,200
Monument Preservation	\$	600
	Subtotal	\$ 59,900

**Additional Services**

Right-of-Way and Permanent Easement Plats	\$	By Amend
Title Reports	\$	By Amend
Permit Fees and Direct Expenses	\$	At Cost
	Subtotal	\$ 0

**Amendment No. 36 Total** **\$ 136,700**



**EXHIBIT “D”**

**2025 STANDARD FEE SCHEDULE**

**Professional** | Engineer, Landscape Architect, Land Surveyor, GIS, Environmental Scientist, Project Manager, Planner, Archaeologist, Right-of-Way Agent, Graphic Designer

BILLING CLASSIFICATION/LEVEL	BILLING RATE
Principal II	\$269.00/hour
Principal I	\$246.00/hour
Senior	\$225.00/hour
VIII	\$206.00/hour
VII	\$194.00/hour
VI	\$185.00/hour
V	\$173.00/hour
III	\$147.00/hour
II	\$133.00/hour
I	\$120.00/hour

**Technical** | CAD, Survey, Construction Observation

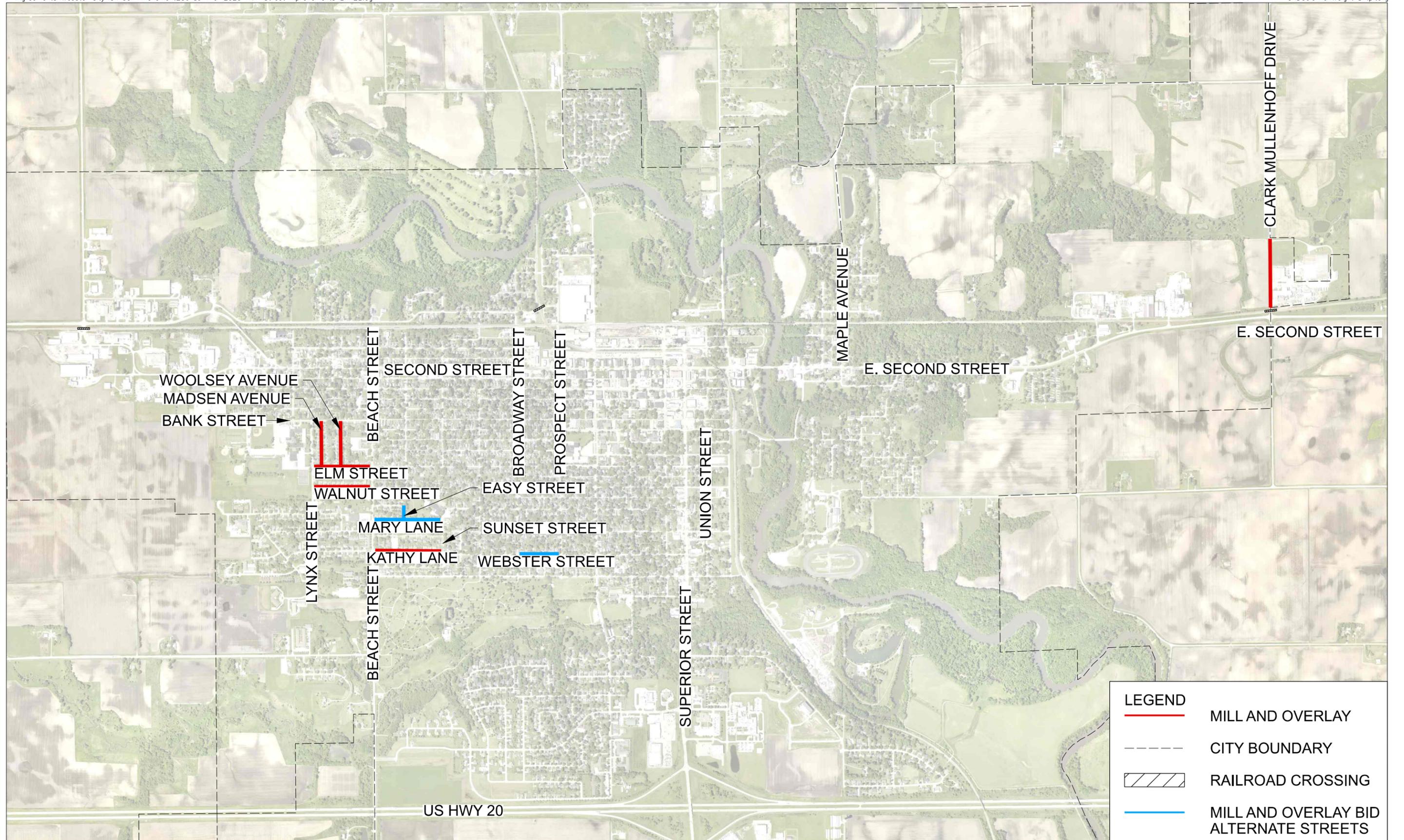
BILLING CLASSIFICATION/LEVEL	BILLING RATE
Lead	\$156.00/hour
Senior	\$150.00/hour
VIII	\$139.00/hour
VII	\$129.00/hour
VI	\$116.00/hour
V	\$105.00/hour
IV	\$95.00/hour
III	\$85.00/hour
II	\$78.00/hour
I	\$69.00/hour

**Administrative**

BILLING CLASSIFICATION/LEVEL	BILLING RATE
II	\$80.00/hour
I	\$66.00/hour

**Reimbursables**

BILLING CLASSIFICATION/LEVEL	BILLING RATE
Mileage	<i>Current IRS Standard Rate</i>
Outside Services	<i>As Invoiced</i>





## AGENDA STATEMENT

**TO:** Mayor and City Council

**FROM:** Brandon Bahrenfuss, Street Department Supervisor  
John Harrenstein, City Manager

**DATE:** March 3, 2025

**RE:** Adopt a Resolution Authorizing the City Manager to Sign and Execute Amendment No. 37 with Snyder and Associates to Provide Professional Services Needed for Routine Bridge Inspections and Associated Reports

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**SUMMARY:** The City is required to perform routine bridge inspections every 24 months. Snyder and Associates has been providing bridge inspection services since 2020. Seven bridges are due for their routine inspections this year. In addition to performing the inspections, Snyder & Associates will also complete required associated reports and provide to the Iowa Department of Transportation.

**PREVIOUS COUNCIL ACTION:** The Council approved an agreement with Snyder & Associates to provide On-Call Paving Specialist Services on February 6, 2017.

**BACKGROUND/DISCUSSION:** The City must routinely inspect its bridges. This year, seven bridges are due for their routine inspections. The city currently has seven bridges on odd year inspections and five bridges on even year inspections. In addition to inspection services, Snyder & Associates provides associated reports required to submit to the Iowa Department of Transportation. After inspections are completed, the engineer will meet with City staff to review their findings and provide a forecast of repairs needed in the upcoming five years to help the city plan for the future. Bridge inspections will be completed in August of this year, with reports being sent to Iowa DOT by November and a review meeting with public works staff will take place in December. The seven bridges that will be inspected are:

- FHWA# 012270, Dubuque Street over Boone River
- FHWA# 012281, Columbia Street over Lyons Creek
- FHWA# 012291, Des Moines Street over Brewer Creek
- FHWA# 012300, Des Moines Street over Boone River
- FHWA# 012310, Willson Avenue over Brewer Creek
- FHWA# 012331, White Fox Road over Boone River
- FHWA# 012340, Park Avenue over Lyons Creek

**FINANCIAL IMPLICATIONS:** The estimated cost for the seven bridge inspections and associated reports is anticipated to be \$5,735.00. Inspection costs are paid for with Road Use Funds. The City currently has \$9,876.00 remaining for consulting and professional fees. The cost to complete inspections is within budget.

**RECOMMENDATION:** Staff recommends the City Council adopt a resolution authorizing the City Manager to sign and execute Amendment No. 37 with Snyder & Associates to provide professional services needed for the routine inspections and associated reports of seven bridges.

**RESOLUTION NO. 2025 -**

**RESOLUTION AUTHORIZING THE CITY MANAGER TO SIGN AND EXECUTE AMENDMENT NO. 37 WITH SNYDER AND ASSOCIATES TO PROVIDE PROFESSIONAL SERVICES NEEDED FOR ROUTINE BRIDGE INSPECTIONS AND ASSOCIATED REPORTS**

**WHEREAS**, the City is required to complete bridge inspections every twenty-four months; and

**WHEREAS**, the City has an on-call services agreement with Snyder and Associates; and

**WHEREAS**, the City of Webster City has seven bridges due for inspections this year; and

**WHEREAS**, the City of Webster City will utilize the services of its consulting engineer, Snyder and Associates, to perform services noted in the attached as Exhibit "A";

**WHEREAS**, said professional services shall be governed by and construed in accordance with the laws of the State of Iowa and local municipal code; and

**NOW THEREFORE BE IT RESOLVED**, by the City Council of the City of Webster City, Iowa as follows:

**SECTION 1:** Authorizes the City Manager to sign and execute Amendment No. 37 with Snyder and Associates to provide professional services needed for routine bridge inspections and associated reports.

Passed and adopted this 3rd day of March, 2025.

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John Hawkins, Mayor

ATTEST:

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Sherry Simmons, City Clerk

# WEBSTER CITY, IOWA

## AMENDMENT No. 37 TO THE AGREEMENT FOR PROFESSIONAL SERVICES FOR THE ON-CALL STREET PAVING SPECIALIST

This Amendment to the Agreement for Engineering Services is made and entered into on the date hereinafter stated under City's signature, between the City of Webster City ("City"), Iowa, and Snyder & Associates, Inc. ("Professional").

For work on the On-Call Street Paving Specialist, the parties agree as follows:

1. **Engagement.** The City hereby engages the Professional to perform work necessary to provide all services as described in the Scope of Work in connection with this Amendment to the Contract.
2. **Scope of Work.** The Professional shall perform in a competent and professional manner, the Scope of Work as set forth in **Exhibit "A"** attached hereto and by reference incorporated herein.
3. **Completion.** The Professional shall commence work immediately upon receipt of a written notice from the City and complete the Scope of Work in an expeditious and professional manner as set forth in **Exhibit "B"** attached hereto and by reference incorporated herein.
4. **Payment.** The prices for work performed by the Professional on this Amendment shall not exceed those prices as set forth in **Exhibit "C"** attached hereto and by reference incorporated herein.
5. **Fee Schedule.** Billing rates for work performed under this agreement shall be in accordance with **Exhibit "D"**.

**IN WITNESS WHEREOF**, the parties hereto have executed, or caused to be executed by their duly authorized officials, this Amendment to the Agreement. All provisions of the Agreement shall remain in full force and effect.

CITY OF WEBSTER CITY, IOWA

\_\_\_\_\_  
John Harrenstein, City Manager

Dated: March 3, 2025

SNYDER & ASSOCIATES, INC.

\_\_\_\_\_



# EXHIBIT “A”

## SCOPE OF WORK

### 2025 Bridge Inspections

#### I. GENERAL

- A. This Scope of Services is for the routine inspection of 7 bridges. Inspection to be performed by an engineer qualified under current FHWA and Iowa DOT requirements.
- FHWA# 012270, Dubuque Street over Boone River
  - FHWA# 012281, Columbia Street over Lyons Creek
  - FHWA# 012291, Des Moines Street over Brewer Creek
  - FHWA# 012300, Des Moines Street over Boone River
  - FHWA# 012310, Willson Avenue over Brewer Creek
  - FHWA# 012331, White Fox Road over Boone River
  - FHWA# 012340, Park Avenue over Lyons Creek
- B. Updating of Iowa DOT SIIMS system, with a copy of the inspection report for the City. Bridges will have the following information updated in SIIMS:
- Upload photos showing roadway and side views, and major problem areas (if any).
  - Update field data collection forms for deck, superstructure, substructure, channel or culvert.
  - Update SI&A fields including new SNBI data inputs.
  - Complete load rating evaluation form.
  - Complete critical finding form, if required.
  - Even year inspections, underwater inspection due in 2026 (1).
  - Even year inspections, channel sections due in 2030 (4).
  - Odd year inspections, underwater inspection due in 2025 (3).
  - Odd year inspections, channel sections due in 2025 (7).
- C. City will be provided a printed copy of the inspection reports and an electronic copy in PDF format.
- D. Provide a general summary listing identifying deficiencies and recommended maintenance/repairs.

#### Assumptions:

- Bridge inspection program will conform to the requirements of Iowa DOT Instructional Memorandum 7.020 and the AASHTO Manual for the Bridge Evaluation, current editions.
- City will provide a list of replacements/repairs since the last inspection and information on the type of work performed.
- City will provide plans for the member size/geometry information for structures rebuilt or constructed new since the last inspection.
- Material in files, prepared by others, will be relied upon as accurate, including field measurements.
- Services shall be performed in accordance with the standard of professional practice ordinarily exercised by similar professionals at the time and in the locality where the work is performed.

## II. ADDITIONAL SERVICES:

The following items shall be considered additional services and are not included within the Scope of Work. These items are listed to further assist with clarity of project scope as well as provide a listing of services, which the Professional could perform upon request.

- A. Load rating calculations; no work is anticipated for this item in this inspection cycle.
- B. Scour and unknown foundation worksheets; no work is anticipated for this item in this inspection cycle.
- C. Element level inspection.
- D. Snooper truck or special access equipment
- E. Traffic control

All work is on an “as needed” basis and work on each project shall be as directed by the City. Costs for each project assigned shall be negotiated as ‘lump sum,’ ‘not to exceed,’ or performed on a ‘time and materials’ basis, as mutually agreed and detailed in Exhibit “C.”

Responsible persons assigned to this Project shall be:

City – Brandon Bahrenfuss  
Professional – Bryan McCombs, P.E.

## EXHIBIT “B”

### COMPLETION

Professional shall commence work immediately upon receipt of a written Notice to Proceed from the City, and shall complete all phases of the Scope of Work as expeditiously as is consistent with professional skill and care and the orderly progress of the Work in a timely manner. The anticipated schedule for the Project is as follows:

<u>Task</u>	<u>Completion Date</u>
Complete 7 field bridge inspections	September, 2025
Iowa DOT SIIMS data reports complete	November, 2025
Inspection reports delivered to the City by	December, 2025
Review Meeting with City and Professional	December, 2025

Upon request of the City, Professional shall submit, for the City's approval, a schedule for the performance of Professional's services which shall be adjusted as required as the Project proceeds, and which shall include allowances for periods of time required by the City for review and approval of submissions and for approvals of authorities having jurisdiction over the Project. This schedule, when approved by the City, shall not, except for reasonable cause, be exceeded by the Professional.

All other incidental completion dates required to complete work under this Agreement shall be adhered to as stipulated.

## EXHIBIT “C”

### PAYMENT

#### COMPENSATION

Below is a table summarizing the Professional’s fees for the scope of services outlined in this Exhibit “A”. Fees will be invoiced and paid on an hourly rate plus expenses basis not to exceed amount and rates will be accrued in accordance with the Professional’s 2025 Standard Fee Schedule contained in Exhibit “D” of this Amendment No. XX to the Agreement for Professional Services.

#### BASIC SERVICES

7 Physical Field Bridge Inspections	\$1,555
3 Underwater Inspections (chest high waders)	\$585
Inspection Reports / SIIMS Data Entry / SNBI Data Inputs	\$1,745
Opinion of Probable Repair/Maintenance Costs (5 Years)	\$775
Meeting with Client	\$970
Mileage (70 cents/mile)	\$105
Subtotal	\$5,735
<b>Amendment No. XX Total</b>	<b>\$5,735</b>

## EXHIBIT “D”



## 2025 STANDARD FEE SCHEDULE

**Professional** | Engineer, Landscape Architect, Land Surveyor, GIS, Environmental Scientist, Project Manager, Planner, Archaeologist, Right-of-Way Agent, Graphic Designer

BILLING CLASSIFICATION/LEVEL	BILLING RATE
Principal II	\$269.00/hour
Principal I	\$246.00/hour
Senior	\$225.00/hour
VIII	\$206.00/hour
VII	\$194.00/hour
VI	\$185.00/hour
V	\$173.00/hour
IV	\$159.00/hour
III	\$147.00/hour
II	\$133.00/hour
I	\$120.00/hour

**Technical** | CAD, Survey, Construction Observation

BILLING CLASSIFICATION/LEVEL	BILLING RATE
Lead	\$156.00/hour
Senior	\$150.00/hour
VIII	\$139.00/hour
VII	\$129.00/hour
VI	\$116.00/hour
V	\$105.00/hour
IV	\$95.00/hour
III	\$85.00/hour
II	\$78.00/hour
I	\$69.00/hour

**Administrative**

BILLING CLASSIFICATION/LEVEL	BILLING RATE
II	\$80.00/hour
I	\$66.00/hour

**Reimbursables**

BILLING CLASSIFICATION/LEVEL	BILLING RATE
Mileage	<i>Current IRS Standard Rate</i>
Outside Services	<i>As Invoiced</i>

**MEMORANDUM**

TO: Mayor and City Council

FROM: Nicholas Knowles, Water/Wastewater Supervisor  
John Harrenstein, City Manager

DATE: March 3, 2025

RE: Repair of Well 6 pump, motor and associated piping

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**SUMMARY:** Staff requests authorization to proceed with the repair of Well #6 pump and motor, as well as the purchase of new 10" well pipe. The repairs, installation, and testing will be completed by Peerless Well and Pump. The quoted price will be \$84,725.00. The city obtained two quotes for the initial inspection: one from Peerless Well and Pump for \$23,670 and one from Northway Well and Pump Co. for \$28,000.

**BACKGROUND/DISCUSSION:** In February of 2025 Well #6 was pulled to have the pump, motor, drive shafts and the associated piping inspected for wear and corrosion due to reduced performance resulting in a loss of pumping volume. The last time the well was pulled and inspected was December of 2016. This well is critical for pumping ground water from Well #6 to the water treatment plant. Under normal operations, the wells are rotated every week to prevent over pumping of ground water and to prevent wear and tear on equipment. Well #6 has been running at reduced capacity and slowly losing more capacity over time. It has resulted in well #6 having to be paired with another well to meet plant demand.

**FINANCIAL IMPLICATIONS:** Staff obtained a quote for the repairing/installing/testing the Pump, shaft, piping and the motor for \$84,725.00 from Peerless Well and Pump.

**RECOMMENDATION:** Staff recommends the City Council authorize the City Manager to approve the repair of Well #6 and associated components, with final project completion not to exceed quoted price.

**RESOLUTION NO. 2025 - \_\_\_\_**

**RESOLUTION AUTHORIZING THE CITY MANAGER TO EXECUTE THE NEEDED REPAIRS OF WELL #6  
AS DEFINED IN EXHIBIT "A" FOR THE WATER TREATMENT PLANT.**

**WHEREAS**, the City Council of Webster City recognizes the importance of maintaining efficient and reliable equipment at the Water Treatment Plant to ensure effective water management; and

**WHEREAS**, the existing well pump and associated components at the Well #6 site, installed in 2016 and now 9 years old, have been inspected at the Peerless Well and Pump shop and require significant repairs; and

**WHEREAS**, the repair of the existing pump is estimated at \$84,725.00 and

**WHEREAS**, Peerless Well and Pump, the current contracted company, has quoted \$84,725.00 for the repairs and associated components; and

**WHEREAS**, the repaired pump and associated components will be installed as part of the normal rotation of Wells 6, 7, and 8; and

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council hereby authorizes the City Manager to execute all necessary documents to complete this transaction and to oversee the project to ensure its timely and successful completion.

**BE IT FURTHER RESOLVED**, the total cost for the project shall not exceed \$84,725.00.

Passed and approved this 3<sup>rd</sup> day of March, 2025.

\_\_\_\_\_  
John Hawkins, Mayor

ATTEST: \_\_\_\_\_  
Sherry Simmons, Deputy City Clerk



February 28, 2025

Mr. Nick Knowles  
Webster City  
502 White Fox Road  
PO Box 217  
Webster City, IA 50595-0217

**RE: Webster City – Well No. 6 Inspection Report – Updated 2-28-25**

Mr. Knowles,

As you know, we have pulled the pump at Well #6. We have inspected the pump components and televised the well. Below is a summary of the recommendations for repairs or replacement of pump components and their associated costs.

**Column Pipe:**

The total length of column pipe is 350'. The pipe is 10" SCH 40. The existing pipe is in poor condition with pitting and thread faces that are showing significant deterioration. We recommend that all of column pipe be replaced.

350'- 10" Column Pipe – Epoxy Coated	\$ 39,9550
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**Lineshaft**

The existing lineshaft is 1-11/16" stainless steel shafting. It is in fair condition. Several pieces have pitting and should be replaced. All of the shafting should be clean and straightened. New sleeves should be installed as they show wear and grooving. The 60" top shaft is grooved and should be replaced. Most of the drop-in bearing retainers look good, but all rubber bearings need replacement. 5 drop in retainer bearings were galled into the pipe and could not be removed.

Clean and straighten shafting	\$ 710
13 New 10' SS T&C Shafts	\$ 8125
5- New Drop In Spiders	\$ 1315
New SS shaft sleeves and rubber bearings (35 sets)	\$ 2905
New SS top shaft	\$ 450

*Pricing Good for 10 days*

**Well Bowl Assembly & Motor:**

The existing bowl assembly needs to be rebuilt along with the stuffing box. The outer casings are bronze and in decent condition. The pump has been rebuilt previously. The discharge case of the pump had the pipe galled into it. When attempting to remove the pipe the discharge cracked. The discharge will be replaced with a ductile iron piece at no cost to the client.

Rebuild existing bowl assembly and stuffing box	\$ 5660
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The existing well motor is a 250 hp US Motors.

Recondition 250 HP GE Motor	\$ 7490
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17656 S John Deere Road, Dubuque, IA 52001

Office: 563-583-1707 · Fax: 563-583-8728

[www.peerlesswellandpump.com](http://www.peerlesswellandpump.com)



**Well Televising**

Televising showed significant buildup on the casing of scale and biofilm as well as in borehole. Recommendation is to brush and bail well before install of the permanent pump.

Brush and Bail Well – 10 Hours \$ 4540

**Project Summary:**

Base Scope – Pull, inspect, Reinstall pump	\$ 12,140
Well Televising	\$ 1440
Equipment Repairs & Replacement	\$ 71,145
<b>Total</b>	<b>\$ 84,725</b>

Please review the above recommendations. Once you have given us the approval on any or all the recommendations, the materials will be ordered and then installed once we have received them from our suppliers.

Peerless Well & Pump

*Patrick Harrington*

Patrick Harrington  
Senior Project Manager

Accepted: \_\_\_\_\_

Date: \_\_\_\_\_

Title: \_\_\_\_\_

**Pricing Disclaimer Due to Market Volatility**

All pricing in this proposal is based on current material costs and supplier rates as of the date of issuance. Due to ongoing market volatility, including but not limited to new tariffs, supply chain disruptions, and raw material price fluctuations, prices are subject to change at any time without notice.

Unless otherwise specified, quoted prices are valid for 10 days from the date of this proposal. After this period, pricing is subject to review and may be adjusted accordingly. If significant material cost increases occur prior to order fulfillment, Peerless Well & Pump reserves the right to adjust pricing accordingly, and we will notify the client of any necessary revisions.

We appreciate your understanding as we navigate these market conditions. Please contact us with any questions or for updated pricing as needed.

**Inspection Photos:**

**Shafting Pitting:**



**Column Pipe:**



**AGENDA STATEMENT**

**TO:** Mayor and City Council

**FROM:** Ariel Bertran, Community Development Director

**DATE:** March 3, 2025

**RE:** Adopt a Resolution Authorizing the City Manager to Sign and Execute a Purchase Agreement with Sundancer Investments for the Purchase of 208 Division Street in Webster City, Iowa in the amount of \$5,000

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**SUMMARY:** Since 2013, the property noted above has been cited for nuisances, in 2021 it was identified as a possible abandoned property. Utilities have been disconnected since 2011. In our attempt to proactively identify nuisance and abandoned properties it was confirmed that this property is vacant/unoccupied and abandoned. The current owner has failed to make meaningful progress in addressing the issues or maintaining the property in a safe and habitable condition. As a result, City staff recommends that the Council approve the purchase of the property.

The Trustee contacted the Community Development Director and City Attorney and offered to sell the property for \$10,000, due to the condition of the property, the City countered with an offer of \$5,000 and the Trustee agreed to that price.

Given the property's current uninhabitable state, City staff requests that the Council adopt a resolution to execute the purchase agreement prepared by the City Attorney. If approved, City staff will return with a recommendation for the property's abatement in the near future.

**PREVIOUS COUNCIL ACTION:** N/A

**BACKGROUND/DISCUSSION:** The property at 208 Division Street has suffered from severe neglect, evident through its lack of maintenance and dilapidated condition. Over the past eleven years, the property has received notices for nuisance and unsafe conditions with utilities being disconnected since 2011. It was most recently classified as an abandoned structure in May 2024. Despite numerous attempts by the City to encourage the current owner to address these issues, the property remains in an unsafe and uninhabitable state.

Due to ongoing challenges and insufficient progress by the owner, City staff requests that the Council adopt a resolution authorizing the City Manager to sign and execute the purchase agreement prepared by the City Attorney. The agreement, signed by the current owner, is for \$5,000.

If the purchase is approved, the next step will be to identify the most viable and cost-effective method for abating the property. If the agreement is approved, City staff will return with a recommendation for the abatement plan in the near future.

**FINANCIAL IMPLICATIONS:** The City will incur the \$5,000 purchase cost.

**RECOMMENDATION:** City staff recommends that the City Council adopt a resolution authorizing the City Manager to sign and execute a purchase agreement with Sundancer Investments for the acquisition of 208 Division Street in Webster City, Iowa, for \$5,000.

**RESOLUTION NO. 2025 -**

**AUTHORIZING THE CITY MANAGER TO SIGN AND EXECUTE A  
PURCHASE AGREEMENT WITH SUNDANCER INVESTMENTS FOR THE PURCHASE OF PROPERTY  
LOCATED AT 208 DIVISION, WEBSTER CITY, IOWA, IN THE AMOUNT OF \$5,000.**

**WHEREAS**, the City of Webster City, Iowa has deemed the property located at 208 Division Street as abandoned and declared it a public nuisance; and,

**WHEREAS**, due to the lack of abatement the City feels it is in the best interest to acquire said property; and,

**WHEREAS**, City Staff extended an offer of \$5,000 for said property; and,

**WHEREAS**, a Purchase Agreement has been signed by the property owner and submitted to the City to sign and execute in the amount of \$5,000.

**NOW THEREFORE BE IT RESOLVED** by the City Council of the City of Webster City, Iowa, that the City Manager is hereby authorized and directed to sign and execute the Purchase Agreement for the above-described real estate.

Passed and adopted this 3<sup>rd</sup> day of March, 2025.

**CITY OF WEBSTER CITY, IOWA**

\_\_\_\_\_  
John Hawkins, Mayor

**ATTEST:**

\_\_\_\_\_  
Sherry Simmons, Deputy City Clerk



## RESIDENTIAL PURCHASE AGREEMENT

TO: SUNDANCER INVESTMENTS, LLC (SELLERS)

The undersigned BUYERS hereby offer to buy and the undersigned SELLERS by their acceptance agree to sell the real property situated in Hamilton County, Iowa, locally known as 208 Division Street, Webster City, IA 50595, tax parcel Identification number: 40882506115004, and legally described as: *Lot Two (2) in Block 14 of the Original Town of Webster City, Iowa*, together with any easements and appurtenant servient estates, but subject to any reasonable easements of record for public utilities or roads, any zoning restrictions, customary restrictive covenants and mineral reservations of record, if any, herein referred to as the "Property," upon the following terms and conditions provided BUYERS, on possession, are permitted to use the Property for residential purposes:

1. **PURCHASE PRICE.** The Purchase Price shall be \$5,000.00 and the method of payment shall be as follows: \$500.00 with this offer to be deposited upon acceptance of this offer and held in trust by New Point Law Firm, PLC as earnest money to be delivered to the SELLERS up on performance of SELLERS' obligations and satisfaction of BUYERS' contingencies, if any; and the balance of the Purchase Price:

a) in cash at the time of closing with adjustment for closing costs to be added or deducted from this amount. This Agreement is not contingent upon BUYERS obtaining such funds.

~~b) upon the terms specified in alternative \_\_\_\_\_ of the Financing Addendum to Residential Purchase Agreement as initialed and attached hereto and incorporated herein.~~

2. **REAL ESTATE TAXES.**

A. SELLERS shall pay all real estate taxes that are due and payable as of the date of possession and constitute a lien against the Property, including any unpaid real estate taxes for any prior years.

B. SELLERS shall pay their prorated share, based upon the date of possession, of the real estate taxes for the fiscal year in which possession is given (ending June 30, 2025) due and payable in the subsequent fiscal year (commencing July 1, 2025).

BUYERS shall be given a credit for such proration at closing (unless this agreement is for an installment contract) based upon the last known actual net real estate taxes payable according to public record. However, if such taxes are based upon a partial assessment of the present property improvements or a changed tax classification as of the date of possession, such proration shall be based on the current millage rate, the assessed value, legislative tax rollbacks and real estate tax exemptions that will actually be applicable as shown by the Assessor's Records on the date of possession.

C. BUYERS shall pay all subsequent real estate taxes.

**3. SPECIAL ASSESSMENTS.**

- A. SELLERS shall pay in full at time of closing all special assessments which are a lien on the Property as of the date of acceptance.
- B. If "A" is stricken, then SELLERS shall pay all installments of special assessments which are a lien on the Property and, if not paid, would become delinquent during the calendar year this offer is accepted, and all prior installments thereof.
- ~~C. All charges for solid waste removal, sewage and maintenance that are attributable to SELLERS' possession, including those for which assessments arise after closing, shall be paid by SELLERS.~~
- ~~D. Any preliminary or deficiency assessment which cannot be discharged by payment shall be paid by SELLERS through an escrow account with sufficient funds to pay such liens when payable, with any unused funds returned to SELLERS.~~
- E. BUYERS shall pay all other special assessments.

**4. RISK OF LOSS AND INSURANCE.** SELLERS shall bear the risk of loss or damage to the Property prior to closing or possession, whichever first occurs. SELLERS agree to maintain existing insurance and BUYERS may purchase additional insurance. In the event of substantial damage or destruction prior to closing, this Agreement shall be null and void; provided, however, BUYERS shall have the option to complete the closing and receive insurance proceeds regardless of the extent of damages. The property shall be deemed substantially damaged or destroyed if it cannot be restored to its present condition on or before the closing date.

**5. POSSESSION AND CLOSING.** If BUYERS timely perform all obligations, possession of the Property shall be delivered to BUYERS on or before **April 15, 2025**, and any adjustments of rent, insurance, taxes, interest and all charges attributable to the SELLERS' possession shall be made as of the date of possession. Closing shall occur after approval of title by buyers' attorney and vacation of the Property by SELLERS, but prior to possession by BUYERS. SELLERS agree to permit BUYERS to inspect the Property within forty-eight hours prior to closing. If possession is given on a day other than closing, the parties shall make a separate agreement with adjustments as of the date of possession. This transaction shall be considered closed (upon the filing of title transfer documents)(upon the delivery of the title transfer documents to BUYERS)and receipt of all funds then due at closing from BUYERS under the Agreement.

**6. FIXTURES.** Included with the Property shall be all fixtures that integrally belong to, are specifically adapted to or are a part of the real estate, whether attached or detached, such as: attached wall-to-wall carpeting, built-in appliances, light fixtures (including light bulbs), water softeners (except rentals), shutters, shades, rods, blinds, venetian blinds, awnings, storm windows, storm doors, screens, television antennas (including satellite dishes), air conditioning equipment (except window type), door chimes, automatic garage door openers, electrical service cables, attached mirrors, fencing, gates, attached shelving, bushes, trees, shrubs and plants. ~~Also included shall be the following:~~

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~~The following items shall not be included:~~

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**7. CONDITION OF PROPERTY.**

- A. The property as of the date of this Agreement including buildings, grounds, and all improvements will be preserved by the SELLERS in its present condition until possession, ordinary wear and tear excepted.
- B. BUYERS acknowledge that they have made a satisfactory inspection of the Property and are purchasing the Property in its existing condition, AS IS with no warranties as to the condition of the Property.
- C. ~~NEW CONSTRUCTION: If the improvements on the subject property are under construction or are to be constructed, this Agreement shall be subject to approval of plans and specifications by the parties within \_\_\_\_\_ days of acceptance of this Agreement. New construction shall have the warranties implied by law, those specifically made by suppliers of materials/appliances, and those specifically tendered by the contractor.~~

- 8. ABSTRACT AND TITLE.** SELLERS, at their expense, shall promptly obtain an abstract of title to the Property continued through the date of acceptance of this Agreement, and deliver it to BUYERS' attorney for examination. It shall show merchantable title in SELLERS in conformity with this Agreement, Iowa law, and Title Standards of the Iowa State Bar Association. The SELLERS shall make every reasonable effort to promptly perfect title. If closing is delayed due to SELLERS' inability to provide marketable title, this Agreement shall continue in force and effect until either party rescinds the Agreement after giving ten days written notice to the other party. The abstract shall become the property of BUYERS when the purchase price is paid in full. SELLERS shall pay the costs of any additional abstracting and title work due to any act or omission of SELLERS, including transfers by or the death of SELLERS or their assignees.
- 9. SURVEY.** BUYERS may, at BUYERS' expense prior to closing, have the property surveyed and certified by a Registered Land Surveyor. If the survey shows any encroachment on the Property or if any improvements located on the Property encroach on lands of others, the encroachments shall be treated as a title defect. If the survey is required under Chapter 354, SELLERS shall pay the cost thereof.
- 10. ENVIRONMENTAL MATTERS.** (a) SELLERS warrant to the best of their knowledge and belief that there are no abandoned wells, solid waste disposal sites, hazardous wastes or substances, or underground storage tanks located on the Property, ~~the Property does not contain levels of radon gas, asbestos or urea formaldehyde foam insulation which require remediation under current governmental standards,~~ and SELLERS have done nothing to contaminate the Property with hazardous wastes or substances. SELLERS warrant that the Property is not subject to any local, state, or federal judicial or administrative action, investigation or order, as the case may be, regarding wells, solid waste disposal sites, hazardous wastes or substances, or underground storage tanks. SELLERS will not provide BUYERS with a properly executed GROUNDWATER HAZARD STATEMENT because there are no wells, private burial sites, solid waste disposal sites, private sewage disposal system, hazardous waste or underground storage tanks on the Property.

(b) ~~BUYERS may at their expense, within \_\_\_\_\_ days after the date of acceptance, obtain a report from a qualified engineer or other person qualified to analyze the existence~~



~~or nature of any hazardous materials, substances, conditions or wastes located on the Property. In the event any hazardous materials, substances, conditions or wastes are discovered on the Property, BUYERS' obligation hereunder shall be contingent upon the removal of such materials, substances, conditions or wastes or other resolution of the matter reasonably satisfactory to BUYERS. However, in the event SELLERS are required to expend any sum in excess of \$ \_\_\_\_\_ to remove any hazardous materials, substances, conditions or wastes, SELLERS shall have the option to cancel this transaction and refund to BUYER all Earnest Money paid and declare this Agreement null and void. The expense of any inspection shall be paid by BUYERS. The expense of any action necessary to remove or otherwise make safe any hazardous material, substance, conditions or waste shall be paid by SELLERS, subject to SELLERS' right to cancel this transaction as provided above.~~

11. **DEED.** Upon payment of the purchase price, SELLERS shall convey the Property to BUYERS by **warranty deed**, free and clear of all liens, restrictions, and encumbrances except as provided in this Agreement. General warranties of title shall extend to the time of delivery of the deed excepting liens or encumbrances suffered or permitted by BUYERS.
12. **JOINT TENANCY IN PROCEEDS AND IN REAL ESTATE.** If SELLERS, immediately preceding acceptance of the offer, hold title to the Property in joint tenancy with full right of survivorship, and the joint tenancy is not later destroyed by operation of law or by acts of the SELLERS, then the proceeds of this sale, and any continuing or recaptured rights of SELLERS in the Property, shall belong to SELLERS as joint tenants with full rights of survivorship and not as tenants in common; and BUYERS in the event of the death of any SELLER, agree to pay any balance of the price due SELLERS under this contract to the surviving SELLERS and to accept a deed from the surviving SELLERS consistent with Paragraph 15.
13. **JOINDER BY SELLER'S SPOUSE.** SELLER'S spouse, if not a title holder immediately preceding acceptance, executes this agreement only for the purpose of relinquishing all rights of dower, homestead and distributive share or in compliance with Section 561.13 of the Code of Iowa and agrees to execute the deed or real estate contract for this purpose.
14. **STATEMENT AS TO LIENS.** If BUYERS intend to assume or take subject to a lien on the Property, SELLERS shall furnish BUYERS with a written statement prior to closing from the holder of such lien, showing the correct balance due.
15. **USE OF PURCHASE PRICE.** At time of settlement, funds of the purchase price may be used to pay taxes and other liens and to acquire outstanding interests, if any, of others.
16. ~~**APPROVAL OF COURT.** If the Property is an asset of an estate, trust or conservatorship, this Agreement is contingent upon Court approval unless Court approval is not required under Iowa law and title standards of the Iowa State Bar Association. If the sale of the Property is subject to Court approval, the fiduciary shall promptly submit this Agreement for such approval. If this Agreement is not so approved by \_\_\_\_\_ either party may declare this Agreement null and void, and all payments made hereunder shall be made to BUYERS.~~
17. **REMEDIES OF THE PARTIES.**
  - A. If BUYERS fail to timely perform this Agreement, SELLERS may forfeit it as provided in the Iowa Code (Chapter 656), and all payments made shall be forfeited; or, at SELLERS' option, upon thirty days written notice of intention to accelerate

the payment of the entire balance because of BUYERS' default (during which thirty days the default is not corrected), SELLERS may declare the entire balance immediately due and payable. Thereafter this agreement may be foreclosed in equity and the Court may appoint a receiver.

- B. If SELLERS fail to timely perform this Agreement, BUYERS have the right to have all payments made returned to them.
- C. BUYERS and SELLERS are also entitled to utilize any and all other remedies or actions at law or in equity available to them and shall be entitled to obtain judgment for costs and attorney fees as permitted by law.

**18. NOTICE.** Any notice under this Agreement shall be in writing and be deemed served when it is delivered by personal delivery or by certified mail return receipt requested, addressed to the parties at the address given below.

**19. CERTIFICATION.** Buyers and Sellers each certify that they are not acting, directly or indirectly, for or on behalf of any person, group, entity or nation named by any Executive Order or the United States Treasury Department as a terrorist, "Specially Designated National and Blocked Person" or any other banned or blocked person, entity, nation or transaction pursuant to any law, order, rule or regulation that is enforced or administered by the Office of Foreign Assets Control; and are not engaged in this transaction, directly or indirectly on behalf of, any such person, group, entity or nation. Each party hereby agrees to defend, indemnify and hold harmless the other party from and against any and all claims, damages, losses, risks, liabilities and expenses (including attorney's fees and costs) arising from or related to my breach of the foregoing certification.

**20. GENERAL PROVISIONS.** In the performance of each part of this Agreement, time shall be of the essence. Failure to promptly assert rights herein shall not, however, be a waiver of such rights or a waiver of any existing or subsequent default. This Agreement shall apply to and bind the successors in interest of the parties. This Agreement shall survive the closing. Paragraph headings are for convenience of reference and shall not limit or affect the meaning of this Agreement. Words and phrases herein shall be construed as in the singular or plural number, and as masculine, feminine or neuter gender according to the context.

**21. INSPECTION OF PRIVATE SEWAGE DISPOSAL SYSTEM.** Seller represents and warrants to Buyer that the Property is not served by a private sewage disposal system, and there are no known private sewage disposal systems on the property.

**22. ADDITIONAL PROVISIONS:** (check if applicable)

- A. SALE OF BUYERS' PROPERTY.** This Agreement is contingent upon the sale and settlement of the BUYERS' property locally known as \_\_\_\_\_ on or before \_\_\_\_\_. If settlement has not been made by this date, the SELLERS may rescind this Agreement by giving notice to BUYERS that unless sale and settlement of BUYERS' property is made within five (5) business days of such notice, then this Agreement shall be null and void. Unless SELLERS give such written notice, this Agreement shall remain valid until the sale of BUYERS' property.

~~SELLERS reserve the right to continue to offer the Property for sale. Should SELLERS receive another offer which they desire to accept, BUYERS shall have \_\_\_\_\_ days from the delivery of written notice to waive the "contingency of sale." Notice from the BUYERS to the SELLERS, removing the contingency of sale, shall be timely delivered to the SELLERS along with reasonable assurance that BUYERS can complete the purchase without~~

the sale of the property referenced above.

If BUYERS do timely remove such contingency, this Agreement will remain in full force and effect (but without being contingent on the sale of BUYERS' property). If BUYERS do not timely remove such contingency, SELLERS will immediately return to BUYERS all earnest money paid, this Agreement will be of no further force and effect, and neither party will have any further obligation to the other hereunder.

B. TERMITE INSPECTION. Buyers at their expense shall have the Property inspected for termites or other wood destroying insects by a licensed pest inspector prior to closing. If active infestation or damage due to prior infestation is discovered, SELLERS shall have the option of either having the Property treated for infestation by a licensed pest exterminator and having any damage repaired to the BUYERS' satisfaction or, declaring this Agreement null and void and returning all earnest money to BUYERS. This provision shall not apply to fences, trees, shrubs or outbuildings other than garages. BUYERS may accept the property in its existing condition without such treatment or repairs.

C. WELL TEST. SELLERS, at \_\_\_\_\_ S' expense, shall provide BUYERS, within \_\_\_\_\_ days after acceptance of this offer, a report issued by the county health department, or a qualified testing service, indicating the location of any well on the Property and that water from each well (1) is safe for its intended use and (2) is in sufficient quantity for its intended use. If BUYERS receive an unsatisfactory report, the basis for which cannot be resolved between BUYERS and SELLERS within \_\_\_\_\_ days of receipt thereof, then upon written notice from BUYERS to SELLERS, this agreement shall be null and void and all earnest money paid shall be returned immediately to BUYERS.

D. RADON TEST. Within \_\_\_\_\_ days after the date of acceptance of this offer, SELLERS, at \_\_\_\_\_ S' expense, shall have the property tested for the presence of Radon gas by a qualified professional and shall provide the written results of such test to BUYERS within the same time period. If said results reveal the presence of Radon in the Property at a level greater than 4.0 pCi/L and SELLERS do not agree to remediate the Property at SELLERS' expense such that the Radon levels in the Property are reduced to a level below 4.0 pCi/L, then BUYERS shall have the option to terminate this agreement, in which case all earnest money shall be returned to BUYERS and this Agreement shall be of no further force or effect.

E. NO REAL ESTATE AGENT OR BROKER. Neither party has used the services of a real estate agent or broker in connection with this transaction. Each party agrees to indemnify and save harmless the other party from and against all claims, costs, liabilities and expense (including court costs and reasonable attorney's fees) incurred by the other party as a result of a breach of this representation, which shall survive closing.

F. OWNERS ASSOCIATION. If the property is subject to control by an association of owners, this Agreement is contingent upon the timely satisfaction or waiver of those conditions set forth on the Owners' Association Addendum attached hereto and by this reference made a part hereof. Buyers may, before closing and no later than \_\_\_\_\_ (\_\_\_\_) days after receipt of all responsive documents, elect to cancel this Agreement by written notice of cancellation to Sellers. If Buyers elect to so cancel this Agreement, then this Agreement shall be null and void and the earnest money paid by Buyers shall be refunded. In the event Buyers do not timely notify Sellers of cancellation, this Agreement shall be binding and remain in full force and effect.

G. OTHER: Attach Addendum. See "Additional Provisions – OTHER INFORMATION - Addendum"

ACCEPTANCE. When accepted, this Agreement shall become a binding contract. If not accepted and delivered to BUYERS on or before MARCH 14, 2025, this Agreement shall be null and void and all payments made shall be returned immediately to BUYERS.

Accepted \_\_\_\_\_

Dated 02 / 24 / 2025

*Linda R. Playle*

\_\_\_\_\_  
SUNDANCER INVESTMENTS, LLC (SELLER)

By: Linda Playle, as Trustee of the  
Robert J. Anderson Revocable  
Trust u/a/d 11/30/2022

**MEMBER of LLC**

Address: 441 Harney Heights Rd.  
Geneva, FL 32732

Telephone: 515-988-3377

\_\_\_\_\_  
SUNDANCER INVESTMENTS, LLC (SELLER)

BY: JUDITH ANDERSON,  
**MEMBER of LLC**

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

\_\_\_\_\_  
CITY OF WEBSTER CITY (BUYER)

By: \_\_\_\_\_

Title: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

## ~~Owners' Association Addendum to Residential Purchase Agreement~~

~~1. If the Property is subject to the provisions of a townhome, condominium, subdivision, cooperative or other homeowners' association or declaration, Sellers shall furnish to Buyers within \_\_\_\_\_ days from the date of acceptance by Sellers complete, current and accurate copies of the following:~~

~~A. A copy of the declaration (other than the plats);~~

~~B. A copy of the by laws of the association;~~

~~C. A copy of the rules and regulations of the association;~~

~~D. A certificate from the Association containing:~~

- ~~• A statement disclosing the effect on the proposed conveyance of any right of first refusal or other restraint on the free alienability of the unit;~~
- ~~• A statement of the amount of the monthly common expense assessment and any unpaid common expense or special assessment currently due and payable from the selling unit owner;~~
- ~~• A statement of any other fees payable by the unit owner to the association;~~
- ~~• The current operating budget of the association, including details concerning the amount of the reserve fund for repair and replacement and its intended use, or a statement that there is no reserve fund;~~
- ~~• A statement of any capital expenditures approved by the association planned at the time of conveyance which are not reflected in the current operating budget included in the certificate.~~
- ~~• The most recent prepared balance sheet and income and expense statement, if any, of the association.~~
- ~~• A statement of any judgments against the association and the existence of any pending suits to which the association is a party.~~
- ~~• A statement generally describing insurance policies provided for the benefit of the unit owners and that the policies are available for inspection stating the location at which they are available.~~
- ~~• A statement as to whether the association has knowledge that any alteration or improvement to the unit or to the limited common elements assigned to the unit violates any provision of the declaration, by laws, or rules or regulations.~~
- ~~• A statement as to whether the association has knowledge of any violation of health or building codes with respect to the unit, the limited common elements assigned to the unit, or any other portion of the property managed by the Association.~~
- ~~• A description of any recreational or other facilities which are to be used by the unit owners or maintained by them or the association, and a statement as to whether or not they are to be a part of the common elements.~~

~~E. A statement by Sellers as to whether Sellers have knowledge:~~

- ~~• That any alteration to the unit or to the limited common elements assigned to the unit violates any provision of the declaration, by laws, or rules and regulations.~~
- ~~• Of any violation of health or building codes with respect to the unit or the limited common elements assigned to the unit.~~

~~Buyers may, before closing and no later than \_\_\_\_\_ ( ) days after receipt of said documents, elect to cancel this Agreement by written notice of cancellation to Sellers. If Buyers elect to~~

~~so cancel this Agreement, then this Agreement shall become null and void and the earnest money paid by Buyers shall be refunded. In the event Buyers do not so notify Sellers of cancellation, this Agreement shall be binding and remain in full force and effect.~~

- ~~2. If the declaration, articles of incorporation, or by laws require that this Agreement or the Buyers be approved by the Board of Directors (or other governing body) of the owners association or if any right of first refusal or comparable right exists, then this Agreement is made expressly contingent upon such approval, or upon a waiver of such right, given in writing. Sellers shall promptly give any such required notice, with a copy to Buyers, and shall diligently pursue any required approval. In the event such approval is not granted or waived prior to \_\_\_\_\_ or closing, this Agreement shall be null and void and all earnest money paid by the Buyers shall be refunded.~~
- ~~3. Sellers warrant that all monthly owners' association dues will be paid current as of the date of closing. Buyers acknowledge that the present fee due to the owners' association is \$ \_\_\_\_\_ per \_\_\_\_\_. Periodic fees, special assessments and other operating charges shall be adjusted to the date of settlement. No adjustment will be made for any capital reserves.~~

## **ADDENDUM FOR INSPECTION OF PRIVATE SEWAGE DISPOSAL SYSTEM**

Buyer and Seller agree on the following initialed alternative to comply with the time of transfer inspection of private sewage disposal systems:

- ~~\_\_\_\_\_ There is a private sewage disposal system on this Property which serves the Property. Seller has obtained or shall obtain at Seller's expense within \_\_\_\_\_ days a certified inspector's report which documents the condition of the private sewage disposal system, that it is of sufficient capacity to serve the Property, that the continued use of the system is permitted, and whether any modifications are required to conform to standards adopted by the Department of Natural Resources. Seller shall attach the inspection report to the Groundwater Hazard Statement to be filed at closing.~~
- ~~\_\_\_\_\_ If Seller receives an unsatisfactory report, the basis of which cannot be resolved between Buyer and Seller within \_\_\_\_\_ days of delivery of a copy to Buyer, then upon written notice from Buyer to Seller, this agreement shall be null and void and all earnest money paid hereunder shall be returned immediately to Buyer.~~
- ~~\_\_\_\_\_ There is a private sewage disposal system on this Property. Weather or other temporary physical conditions prevent the certified inspection of the private sewage disposal system from being conducted. Buyer shall execute a binding acknowledgment with the County Board of Health to conduct a certified inspection of the private sewage disposal system at the earliest practicable time and to be responsible for any required modifications to the private sewage disposal system as identified by the certified inspection. Buyer shall attach a copy of the binding acknowledgment to the Groundwater Hazard Statement to be filed at closing. When the inspection is completed, an amended Groundwater Hazard Statement shall be filed with the certified inspection and shall include the document numbers of both the real estate transfer document and the original Groundwater Hazard Statement.~~
- ~~\_\_\_\_\_ Seller agrees at closing to deposit the sum of \$ \_\_\_\_\_ Dollars into escrow with \_\_\_\_\_ ("Escrow Agent") to reimburse Buyer for expenses incurred for the cost of the inspection and any required modifications to the private disposal system. Escrow Agent shall pay to Buyer, up to the amount held in escrow, amounts for required modifications after any such modifications are completed and upon submission to Escrow Agent of a detailed invoice. If no modifications are required, the entire escrow account shall be returned to Seller. Any funds remaining in the escrow account after any required modifications shall be returned to Seller. Seller shall not be responsible for any cost in excess of the escrow deposit.~~
- ~~\_\_\_\_\_ There is a private sewage disposal system on this Property. The building to which the sewage disposal system is connected will be demolished without being occupied. Buyer shall execute a binding acknowledgement with the county board of health to demolish the building within an agreed upon time period. Buyer shall attach a copy of the binding acknowledgement to the Groundwater Hazard Statement to be filed at closing.~~
- ~~\_\_\_\_\_ There is a private sewage disposal system on this Property. The private sewage disposal~~

system has been installed within the past two years pursuant to permit number \_\_\_\_\_.



~~Additional Provisions~~ ~~OTHER INFORMATION~~ ~~Addendum~~

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<b>Title</b>	Sundancer Investments_Sale of 208 Division St_Revised...
<b>File name</b>	Sundancer%20Inves...se%20Agreemen.pdf
<b>Document ID</b>	4e9eb33e9468dd3c1aebc4909d254435522d57cf
<b>Audit trail date format</b>	MM / DD / YYYY
<b>Status</b>	● Signed

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### Document History

 <b>SENT</b>	<b>02 / 24 / 2025</b> 16:03:58 UTC	Sent for signature to Linda Ann Playle (linda@playle.com) from jtillo@newpointlawfirm.com IP: 184.170.163.122
 <b>VIEWED</b>	<b>02 / 25 / 2025</b> 00:44:58 UTC	Viewed by Linda Ann Playle (linda@playle.com) IP: 216.82.41.138
 <b>SIGNED</b>	<b>02 / 25 / 2025</b> 00:46:49 UTC	Signed by Linda Ann Playle (linda@playle.com) IP: 216.82.41.138
 <b>COMPLETED</b>	<b>02 / 25 / 2025</b> 00:46:49 UTC	The document has been completed.



AGENDA STATEMENT

TO: Mayor & City Council  
 FROM: City Manager  
       Finance Director  
       Deputy City Clerk  
 DATE: March 3, 2025  
 RE: Set Public Hearing to set maximum Property Tax Levy for FY 25/26

**SUMMARY:** Staff requests the City Council set a public hearing for 5:45 on Monday, April 7, 2025 regarding the maximum property tax levy to be considered for the FY 25/26 budget. The hearing cannot be held prior to March 20<sup>th</sup>, must be held prior to setting the budget certification hearing, and be held separate from any other city business. The meeting will adjourn after the public hearing with a 5-minute recess prior to opening the scheduled council meeting.

**PROPOSED LEVY:**

PROPOSED 2025/2026 LEVY						
Levy			Adopted	Proposed	+/-	+/-
	24/25	25/26	2024/2025	2025/2026	\$\$	%
General Fund	8.34	8.10	2,180,910	2,260,054	79,144	4%
Aviation	0.27	0.27	70,620	75,378	4,758	6%
Property / Liability	0.74	0.31	194,083	86,273	(107,810)	-125%
Ag Land	3.01	3.00	9,896	10,111	215	2%
Transit	0.05	0.05	13,519	13,519	-	0%
<b>Subtotal</b>			<b>2,469,028</b>	<b>2,445,335</b>	<b>(23,693)</b>	<b>-1%</b>
Police/Fire	1.05	1.04	273,518	291,712	18,194	6%
FICA/IPERS	0.89	0.85	232,259	237,820	5,561	2%
Emp. Benefits	2.69	2.74	703,499	763,876	60,377	8%
Debt Service	4.08	4.07	1,123,532	1,183,971	60,439	5%
<b>Subtotal</b>			<b>2,332,808</b>	<b>2,477,379</b>	<b>144,571</b>	<b>6%</b>
<b>Total Dollars</b>			<b>4,801,836</b>	<b>4,922,714</b>	<b>120,878</b>	<b>2%</b>
<b>Proposed Levy Rate</b>	<b>18.10</b>	<b>17.42</b>			<b>(0.6815)</b>	

Changes to the levy include inflationary increases in the general fund and employee benefit funds. In addition, the debt service levy is proposed to increase to fund a portion of the debt service needed for Fairmeadow #1 and

Fairmeadow #2 street reconstruction projects. An overall decrease to the levy is expected as a result of the proposal. The total levy represents an increase of \$120,878 or a 2% increase from the previous fiscal year. This may be adjusted downward by the Council during budget work sessions, but not upward following the public hearing. Any funding toward reducing the proposed levy will come from either the Road use Tax Fund or the Sales Tax Fund that can be used to support debt payments related to road projects.

**DISCUSSION:** The Iowa State Legislature made changes to the property tax system beginning with the 2024-2025 fiscal year.

- Beginning with FY15 legislature approved a new rollback for Commercial & Industrial properties. The rollback began with 95% of valuations in year 1 and 90% of valuations for year 2 and every year thereafter. The State set up a backfill to help cities with the loss of this revenue, however during 2021 legislation it was decided to begin reducing the amount of the backfill each year until cities would no longer receive any type of backfill for the commercial and industrial rollback. Webster City is scheduled to receive the final payment of \$13,566.08 during FY29. The annual backfill amount is distributed to many funds and totaled \$138,684 (FY16) to \$93,727 (FY23). The tool provided by the Iowa Department of Management estimates Webster City will receive a total of \$52,903 to be distributed among the General, Special Revenue, TIF and Debt Service funds.
- In 2022 a bill was passed to eliminate a Business Property Tax Credit that was given to eligible property owners that applied for this credit. The credit was replaced with an automatic rollback of the 1<sup>st</sup> \$150,000 of taxable value on every commercial, industrial and railroad property without the need to apply. The state has set aside \$125,000,000 to backfill cities for this loss of revenue. Estimates have Webster City receiving a total of \$151,399 for this backfill during FY26. The estimated amount for FY25 was \$208,186.
- The 2023 legislation also requires each city to hold a public hearing separate from any other city related business in regards to the levy being proposed to certify for the upcoming fiscal year. The public hearing is to be held after each property owner receives a statement from the county auditor showing how much of their property tax dollars will be allocated to each levy. The information for this form needed to be submitted no later than March 5th with the letters to be mailed on March 20<sup>th</sup>.

The public hearing will be set for April 7, 2025 at 5:45 p.m., when the hearing is finished, we will adjourn this meeting, take a minimum 5-minute recess and open a second meeting which will be the normal 1<sup>st</sup> Monday of the month council meeting.

**FINANCIAL IMPACT:** The proposed levy rate is \$.6815 lower than the current fiscal year's rate; however, due to an overall valuation and rollback increase the city will receive 2% more (\$120,878) more over the various levies. We will continue to use reserves in the benefit and property/liability funds to help the overall levy but have enough reserve to apply again next year to prevent a large spike.

The taxes to be certified and collected for FY 2025/2026 are based on valuations from January 1, 2024. The increase in our taxable value is due to many factors including new builds and improvements to existing properties. The majority of property owners did not see an increase in their assessed property values from 2023 to 2024 due to the market.



The attached chart shows the calculation from the example that is shown on the notice being mailed to property owners as well as the estimated amounts of tax increase to those whose properties did not see any valuation increases and assuming they are receiving the Homestead Credit amount of \$4,850. If the resident is 65+ an additional \$29.00 can be deducted from the total.

**RECOMMENDATION:** Staff recommends setting the Proposed Tax Levy Public Hearing for 5:45 p.m. on Monday, April 7, 2025.

**FISCAL YEAR JULY 1, 2024 - JUNE 30, 2025**  
**ADOPTION OF BUDGET AND CERTIFICATION OF CITY TAXES**  
 The City of : WEBSTER CITY County Name: HAMILTON COUNTY  
 Adopted On: 4/15/2024 Resolution: 2024-058

The below-signed certifies that the City Council, on the date stated above, lawfully approved the named resolution adopting a budget for next fiscal year, as summarized on this and the supporting pages.

Attached is Long Term Debt Schedule Form 703 which lists any and all of the debt service obligations of the City.

		<b>With Gas &amp; Electric</b>		<b>Without Gas &amp; Electric</b>	<b>City Number: 40-378</b> <b>Last Official Census: 7,825</b>
Regular	2a	261,555,174	2b	258,742,375	
DEBT SERVICE	3a	275,488,103	3b	272,675,304	
Ag Land	4a	3,294,454			

**Consolidated General Fund Levy Calculation**

	<b>CGFL Max Rate</b>	<b>CGFL Max Dollars</b>	<b>Non-TIF Taxable w/ G&amp;E</b>	<b>Taxable Growth %</b>
<b>FY 2024 Budget Data</b>	8.50500	2,140,109	251,629,472	3.94
	<b>Limitation Percentage</b>			
	2			
	<b>CGFL Max Rate</b>	<b>CGFL Max Dollars</b>	<b>Revenue Growth %</b>	
<b>Max Allowed CGFL for FY 2025</b>	8.33824	2,180,910	1.91	

**TAXES LEVIED**

Code Sec.	Dollar Limit	Purpose	ENTER FIRE DISTRICT RATE BELOW		(A) Request with Utility Replacement	(B) Property Taxes Levied		(C) Rate
384.1	8.33824	Consolidated General Fund		5	2,180,910	2,157,456	43	8.33824
		<b>Non-Voted Other Permissible Levies</b>						
384.12(1)	0.95000	Opr & Maint publicly owned Transit		7	13,519	13,374	45	0.05169
384.12(2)	0.27000	Aviation Authority (under sec.330A.15)		11	70,620	69,860	49	0.27000
384.12(3)	Amt Nec	Liability, property & self insurance costs		14	194,083	191,995	52	0.74203
384.12(5)	Amt Nec	Support of a Local Emerg.Mgmt.Comm.		462		0	465	0.00000
		<b>Voted Other Permissible Levies</b>						
28E.22	1.50000	Unified Law Enforcement		24		0	62	0.00000
		<b>Total General Fund Regular Levies (5 thru 24)</b>		25	2,459,132	2,432,685		
384.1	3.00375	Ag Land		26	9,896	9,896	63	3.00375
		<b>Total General Fund Tax Levies (25 + 26)</b>		27	2,469,028	2,442,581		<b>Do Not Add</b>
		<b>Special Revenue Levies</b>						
384.6	Amt Nec	Police & Fire Retirement		29	273,518	270,577		1.04574
	Amt Nec	FICA & IPERS (if general fund at levy limit)		30	232,259	229,761		0.88799
Rules	Amt Nec	Other Employee Benefits		31	703,499	695,934		2.68968
		<b>Subtotal Employee Benefit Levy (29,30,31)</b>		32	1,209,276	1,196,272	65	4.62341
			<b>Valuation</b>					
386	<b>As Req</b>	<b>With Gas &amp; Elec</b>		<b>Without Gas &amp; Elec</b>				
	SSMID 1 (A)	5,406,182 (B)	5,406,182	34	27,031	27,031	66	5.00002
	SSMID 2 (A)	0 (B)	0	35		0	67	0.00000
	SSMID 3 (A)	0 (B)	0	36		0	68	0.00000
	SSMID 4 (A)	0 (B)	0	37		0	69	0.00000
	SSMID 5 (A)	0 (B)	0	555		0	565	0.00000
	SSMID 6 (A)	0 (B)	0	556		0	566	0.00000
	SSMID 7 (A)	0 (B)	0	1177		0	1179	0.00000
	SSMID 8 (A)	0 (B)	0	1185		0	1187	0.00000
		<b>Total Special Revenue Levies</b>		39	1,236,307	1,223,303		
384.4	Amt Nec	<b>Debt Service Levy 76.10(6)</b>		40	1,123,532	1,112,060	70	4.07833
384.7	0.67500	<b>Capital Projects (Capital Improv. Reserve)</b>		41		0	71	0.00000
		<b>Total Property Taxes (27+39+40+41)</b>		42	4,828,867	4,777,944	72	18.10370

**COUNTY AUDITOR - I certify the budget is in compliance with ALL the following: Budgets that DO NOT meet ALL the criteria below are not statutorily compliant & must be returned to the city for correction.**

\_\_\_\_\_  
( City Representative )

\_\_\_\_\_  
( Date )

\_\_\_\_\_  
( County Auditor )

\_\_\_\_\_  
( Date )

**CITY NAME: NOTICE OF PUBLIC HEARING - CITY OF WEBSTER CITY - PROPOSED PROPERTY TAX LEVY CITY #: 40-378**  
**WEBSTER CITY Fiscal Year July 1, 2024 - June 30, 2025**

The City Council will conduct a public hearing on the proposed Fiscal Year City property tax levy as follows:  
**Meeting Date: 4/1/2024 Meeting Time: 05:45 PM Meeting Location: Webster City Council Chambers City Hall Building 400 2nd Street Webster City, IA 50595**

At the public hearing any resident or taxpayer may present objections to, or arguments in favor of the proposed tax levy. After the hearing of the proposed tax levy, the City Council will publish notice and hold a hearing on the proposed city budget.

City Website (if available)  
 www.webstercity.com

City Telephone Number  
 (515) 832-9141

Iowa Department of Management	Current Year Certified Property Tax 2023 - 2024	Budget Year Effective Property Tax 2024 - 2025	Budget Year Proposed Property Tax 2024 - 2025
Taxable Valuations for Non-Debt Service	248,885,442	258,742,375	258,742,375
Consolidated General Fund	2,116,771	2,116,771	2,157,456
Operation & Maintenance of Public Transit	13,373	13,373	13,374
Aviation Authority	67,199	67,199	69,860
Liability, Property & Self Insurance	94,509	94,509	191,995
Support of Local Emergency Mgmt. Comm.	0	0	0
Unified Law Enforcement	0	0	0
Police & Fire Retirement	264,665	264,665	270,577
FICA & IPERS (If at General Fund Limit)	278,202	278,202	229,761
Other Employee Benefits	946,788	946,788	695,934
Capital Projects (Capital Improv. Reserve)	0	0	0
Taxable Value for Debt Service	257,771,502	272,675,304	272,675,304
Debt Service	1,173,649	1,173,649	1,112,060
<b>CITY REGULAR TOTAL PROPERTY TAX</b>	<b>4,955,156</b>	<b>4,955,156</b>	<b>4,741,017</b>
<b>CITY REGULAR TAX RATE</b>	<b>19.74682</b>	<b>18.91915</b>	<b>18.10370</b>
Taxable Value for City Ag Land	3,152,578	3,294,454	3,294,454
Ag Land	9,470	9,470	9,896
<b>CITY AG LAND TAX RATE</b>	<b>3.00375</b>	<b>2.87453</b>	<b>3.00375</b>
<b>Tax Rate Comparison-Current VS. Proposed</b>			
Residential property with an Actual/Assessed Value of \$100,000	<b>Current Year Certified 2023/2024</b>	<b>Budget Year Proposed 2024/2025</b>	<b>Percent Change</b>
City Regular Residential	1,079	839	-22.24
Commercial property with an Actual/Assessed Value of \$100,000	<b>Current Year Certified 2023/2024</b>	<b>Budget Year Proposed 2024/2025</b>	<b>Percent Change</b>
City Regular Commercial	1,079	839	-22.24

Note: Actual/Assessed Valuation is multiplied by a Rollback Percentage to get to the Taxable Valuation to calculate Property Taxes. Residential and Commercial properties have the same Rollback Percentage at \$100,000 Actual/Assessed Valuation.

**Reasons for tax increase if proposed exceeds the current:**

The overall tax asking for FY25 is lower than the task asking for FY24. The current levy is 19.74682 - the new proposed rate is 18.14001 giving a reduced overall dollar amount of \$206,972.

**FISCAL YEAR JULY 1, 2025 - JUNE 30, 2026**  
**ADOPTION OF BUDGET AND CERTIFICATION OF CITY TAXES**  
 The City of : WEBSTER CITY County Name: HAMILTON COUNTY  
 Adopted On: (entered upon adoption) Resolution: (entered upon adoption)

The below-signed certifies that the City Council, on the date stated above, lawfully approved the named resolution adopting a budget for next fiscal year, as summarized on this and the supporting pages.

Attached is Long Term Debt Schedule Form 703 which lists any and all of the debt service obligations of the City.

		<b>With Gas &amp; Electric</b>		<b>Without Gas &amp; Electric</b>	
Regular	2a	279,178,211	2b	276,215,016	City Number: 40-378 Last Official Census: 7,825
DEBT SERVICE	3a	291,154,495	3b	288,191,300	
Ag Land	4a	3,365,982			

**Consolidated General Fund Levy Calculation**

	<b>CGFL Rate</b>	<b>CGFL Dollars</b>	<b>Non-TIF Taxable w/ G&amp;E</b>	<b>Taxable Growth %</b>
<b>FY 2025 Budget Data</b>	8.33824	2,180,910	261,555,174	6.74
	<b>Limitation Percentage</b>			
	3			
	<b>CGFL Max Rate</b>	<b>CGFL Max Dollars</b>	<b>Revenue Growth %</b>	
<b>Max Allowed CGFL for FY 2026</b>	8.09538	2,260,054	3.63	

**TAXES LEVIED**

Code Sec.	Dollar Limit	Purpose	ENTER FIRE DISTRICT RATE BELOW		(A) Request with Utility Replacement	(B) Property Taxes Levied		(C) Rate	
384.1	8.09538	Consolidated General Fund		5	2,260,054	2,236,066	43	8.09538	
		<b>Non-Voted Other Permissible Levies</b>							
384.12(1)	0.95000	Opr & Maint publicly owned Transit		7	13,519	13,374	45	0.04842	
384.12(2)	0.27000	Aviation Authority (under sec.330A.15)		11	75,378	74,578	49	0.27000	
384.12(3)	Amt Nec	Liability, property & self insurance costs		14	86,273	85,356	52	0.30902	
384.12(5)	Amt Nec	Support of a Local Emerg.Mgmt.Comm.		462		0	465	0.00000	
		<b>Voted Other Permissible Levies</b>							
28E.22	1.50000	Unified Law Enforcement		24		0	62	0.00000	
		<b>Total General Fund Regular Levies (5 thru 24)</b>		25	2,435,224	2,409,374			
384.1	3.00375	Ag Land		26	10,111	10,111	63	3.00375	
		<b>Total General Fund Tax Levies (25 + 26)</b>		27	2,445,335	2,419,485		<b>Do Not Add</b>	
		<b>Special Revenue Levies</b>							
384.6	Amt Nec	Police & Fire Retirement		29	291,712	288,617		1.04490	
	Amt Nec	FICA & IPERS (if general fund at levy limit)		30	237,820	235,297		0.85186	
Rules	Amt Nec	Other Employee Benefits		31	763,876	755,768		2.73616	
		<b>Subtotal Employee Benefit Levy (29,30,31)</b>		32	1,293,408	1,279,682	65	4.63292	
			<b>Valuation</b>						
386	As Req	<b>With Gas &amp; Elec</b>		<b>Without Gas &amp; Elec</b>					
	SSMID 1 (A)	5,089,811 (B)		5,089,811	34	25,500	25,500	66	5.01001
	SSMID 2 (A)	0 (B)		0	35		0	67	0.00000
	SSMID 3 (A)	0 (B)		0	36		0	68	0.00000
	SSMID 4 (A)	0 (B)		0	37		0	69	0.00000
	SSMID 5 (A)	0 (B)		0	555		0	565	0.00000
	SSMID 6 (A)	0 (B)		0	556		0	566	0.00000
	SSMID 7 (A)	0 (B)		0	1177		0	1179	0.00000
	SSMID 8 (A)	0 (B)		0	1185		0	1187	0.00000
		<b>Total Special Revenue Levies</b>			39	1,318,908	1,305,182		
384.4	Amt Nec	<b>Debt Service Levy 76.10(6)</b>			40	1,183,971	1,171,921	70	4.06647
384.7	0.67500	<b>Capital Projects (Capital Improv. Reserve)</b>			41		0	71	0.00000
		<b>Total Property Taxes (27+39+40+41)</b>			42	4,948,214	4,896,588	72	17.42221

**COUNTY AUDITOR - I certify the budget is in compliance with ALL the following: Budgets that DO NOT meet ALL the criteria below are not statutorily compliant & must be returned to the city for correction.**

\_\_\_\_\_  
( City Representative )

\_\_\_\_\_  
( Date )

\_\_\_\_\_  
( County Auditor )

\_\_\_\_\_  
( Date )



**CITY NAME:** NOTICE OF PUBLIC HEARING - CITY OF WEBSTER CITY - PROPOSED PROPERTY TAX LEVY **CITY #:** 40-378  
**WEBSTER CITY** Fiscal Year July 1, 2025 - June 30, 2026

The City Council will conduct a public hearing on the proposed Fiscal Year City property tax levy as follows:

**Meeting Date:** 4/7/2025 **Meeting Time:** 05:45 PM **Meeting Location:** Webster City City Hall 400 2nd Street Webster City, IA 50595

At the public hearing any resident or taxpayer may present objections to, or arguments in favor of the proposed tax levy. After the hearing of the proposed tax levy, the City Council will publish notice and hold a hearing on the proposed city budget.

City Website (if available)  
 www.webstercity.com

City Telephone Number  
 (515) 832-9141

Iowa Department of Management	Current Year Certified Property Tax 2024 - 2025	Budget Year Effective Property Tax 2025 - 2026	Budget Year Proposed Property Tax 2025 - 2026
Taxable Valuations for Non-Debt Service	258,742,375	276,215,016	276,215,016
Consolidated General Fund	2,157,456	2,157,456	2,236,066
Operation & Maintenance of Public Transit	13,374	13,374	13,374
Aviation Authority	69,860	69,860	74,578
Liability, Property & Self Insurance	191,995	191,995	85,356
Support of Local Emergency Mgmt. Comm.	0	0	0
Unified Law Enforcement	0	0	0
Police & Fire Retirement	270,577	270,577	288,617
FICA & IPERS (If at General Fund Limit)	229,761	229,761	235,297
Other Employee Benefits	695,934	695,934	755,768
Capital Projects (Capital Improv. Reserve)	0	0	0
Taxable Value for Debt Service	272,675,304	288,191,300	288,191,300
Debt Service	1,112,060	1,112,060	1,171,921
CITY REGULAR TOTAL PROPERTY TAX	4,741,017	4,741,017	4,860,977
CITY REGULAR TAX RATE	18.10370	16.99692	17.42221
Taxable Value for City Ag Land	3,294,454	3,365,982	3,365,982
Ag Land	9,896	9,896	10,111
CITY AG LAND TAX RATE	3.00375	2.94000	3.00375
<b>Tax Rate Comparison-Current VS. Proposed</b>			
Residential property with an Actual/Assessed Valuation of \$100,000/\$110,000	<b>Current Year Certified 2024/2025</b>	<b>Budget Year Proposed 2025/2026</b>	<b>Percent Change</b>
City Regular Residential	839	909	8.34
Commercial property with an Actual/Assessed Valuation of \$300,000/\$330,000	<b>Current Year Certified 2024/2025</b>	<b>Budget Year Proposed 2025/2026</b>	<b>Percent Change</b>
City Regular Commercial	3,702	4,062	9.72

Note: Actual/Assessed Valuation is multiplied by a Rollback Percentage to get to the Taxable Valuation to calculate Property Taxes. Residential and commercial properties have the same rollback percentage through \$150,000 of actual/assessed valuation.

**Reasons for tax increase if proposed exceeds the current:**

The City of Webster City's FY24/25 total levy was \$4,801,836. The City of Webster City's proposed FY25/26 total levy is \$4,917,956. This is a \$120,878 or 2% increase from last fiscal year. The increases represent inflationary costs and payment of debt issued by the city.

FY25 BUDGET WORKSHOP  
COMPARISON OF TAX DOLLARS - FY25 TO FY26

	FY25	FY25	FY25		FY26		FY25	FY25		FY25		FY25	
			Assessed	Taxable	Taxable	Taxable	dollars	dollars	Diff from	dollars	Proposed	Diff from	
			Valuation	Valuation	Valuation	Valuation	from levy	from levy	FY24	from levy	FY24	FY24	
Rollback	46.34280%	47.43160%											
Total Levy	41.79866												
City Levy	18.1037												
Homestead Credit - Credit amount/1,000 x levy rate													
Total Levy	203						Home 65+	118	Home 65+	113			
City Levy	88	-				Homestead	88	Homestead	84				
							18,1037		17,42221				
FY24		FY25	FY25	FY25	FY26	FY25	Same Levy		Proposed				
Assessed		Assessed	Taxable	Taxable	Taxable	dollars	dollars	Diff from	dollars	Diff from			
Valuation	% Increase	Valuation	Valuation	Valuation	Valuation	from levy	from levy	FY24	from levy	FY24			
100,000	0%	110,000	46,343	52,175	839	945	106	909.00	70				
20,000	0.00%	20,000	9,269	9,486	80	84	4	81	1				
50,000	0%	50,000	23,171	23,716	332	342	10	329	(3)				
100,000	0%	100,000	46,343	47,432	751	771	20	742	(9)				
125,000	0%	125,000	57,929	59,290	961	986	25	948	(12)				
150,000	0%	150,000	69,514	71,147	1,171	1,200	30	1,155	(16)				
175,000	0%	175,000	81,100	83,005	1,380	1,415	34	1,362	(19)				
200,000	0%	200,000	92,686	94,863	1,590	1,630	39	1,568	(22)				
225,000	0%	225,000	104,271	106,721	1,800	1,844	44	1,775	(25)				
250,000	0%	250,000	115,857	118,579	2,010	2,059	49	1,981	(28)				
275,000	0%	275,000	127,443	130,437	2,219	2,274	54	2,188	(31)				
300,000	0%	300,000	139,028	142,295	2,429	2,488	59	2,395	(35)				
325,000	0%	325,000	150,614	154,153	2,639	2,703	64	2,601	(38)				
350,000	0%	350,000	162,200	166,011	2,849	2,918	69	2,808	(41)				
375,000	0%	375,000	173,786	177,869	3,058	3,132	74	3,014	(44)				
400,000	0%	400,000	185,371	189,726	3,268	3,347	79	3,221	(47)				

NOTE: The "dollars from levy" column is using the current Homestead Credit of \$4,850.

For those homeowners 65 or older - deduct an additional:

\$30.00 - 18.1037 levy

1620 Superior Street Unit 1  
Webster City, IA 50595  
(515) 832-2885  
(515) 832-2515 fax



## GROVES & CHIZEK LAW OFFICE

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February 26, 2025

TO: Members of the City Council  
RE: Summary of Professional Services for February 2025.

Dear Council Members:

Outlined below is a summary of professional services I have provided for the City of Webster City as City Attorney for the month of February 2025. The main issues I addressed this past month were (a) preparation of K9 Reimbursement Agreement with the County regarding Moab; (b) negotiated the purchase of 208 Division Street with the company that owns said property; and (c) worked with City staff on a stump removal contract with an outside vendor.

In regards to the K9 Reimbursement Agreement, with Moab moving over to the Sheriff's Office, City staff had me draft an agreement between the City and County related to the City being reimbursed for those costs associated with Moab no longer being part of the police department. Said Agreement was provided to City staff, but I have heard nothing further on it.

In regards to 208 Division Street, I've worked with the owner's attorneys to come to an agreement for the City to purchase the abandoned property for a costs of \$5,000.00. This will allow the City to take possession of said property without needing to go through the full abandonment process and the associated costs with said process.

Finally, in regards to the stump removal contract, I worked with City staff to review and revise the existing agreement prior to it going out to the outside vendor to approve to begin/continue the stump removal process on City owned property.

Respectfully submitted,

Zachary S. Chizek